

TO: HONORABLE CHAIRMAN AND PLANNING COMMISSION

FROM: RON WHISENAND, COMMUNITY DEVELOPMENT DIRECTOR

**SUBJECT: PLANNED DEVELOPMENT 06-020 AND VESTING TENTATIVE TRACT
MAP 2904, 721 – 731 PINE STREET, APNS: 009-203-011, -012, AND -019
(APPLICANT – WILLIAM OSTRANDER)**

DATE: FEBRUARY 13, 2007

Needs: For the Planning Commission to consider an application for a Planned Development and Vesting Tentative Tract Map to construct a 9-unit “live/work” condominium project that is intended to include commercial and residential uses.

Facts:

1. The site is located on three parcels between 721 and 731 Pine Street. The property is proposed to be merged and then re-subdivided with the tract map into condominiums for all units.
2. The applicant would like to develop a live/work project where each condominium includes commercial space on the ground floor and a residence located above it. Each individual unit (consisting of the commercial and residential spaces), is intended to be occupied by the same resident.
3. Six of the proposed units would be oriented toward Pine Street with storefronts on the lower floor, and the other three units would be located toward the rear of the site. Pedestrian access to the rear units would be provided through a 14 foot wide open walkway from the street to the rear area.
4. Each unit that faces onto Pine Street is proposed to include a small balcony (coffee deck), and all units are proposed to have a private interior courtyard area accessed from within the residential unit and an interior balcony from the mezzanine floor overlooking the individual courtyards. The site plan also includes a common “piazza” open space area. The Mixed-Use open space development standards apply to this project, which requires a minimum of 100 s.f. of private and common open space per dwelling unit. The project includes a minimum of 275 s.f. of private space per unit and 3,569 s.f. of common open space (not including the open parking areas).
5. The project requires a total of 33 parking spaces (19 spaces for the commercial area and 14 spaces for the residential units). Per Section 21.22.130 of the Zoning Code, since this project proposes a mix of night time (residential) uses and day time (commercial) uses, the applicant is requesting the Planning Commission grant approval of a Joint Use shared parking reduction. If approved, the applicant would be required to provide 20 parking spaces. The applicant has provided 22 spaces on the site. See attached Zoning Code sections.
6. The maximum building height permitted in the Zoning Code is 50 feet. The buildings are proposed to be 37 feet in height. No setbacks are required for the first floor of the buildings, however, the Mixed-Use standards include requirements to set the 2nd and 3rd stories back from the side yard property lines by five feet. The Commission may

grant an exception to required setbacks for the second and third stories, with specific findings. See attached Mixed Use Development Standards, Section 21.18C.070.

7. The project site is located in District B of the Downtown Design Guidelines. The intent of District B is focused on creating a cohesive urban fabric that links building placement and pedestrian orientation. The guidelines are somewhat different from the traditional historic architectural emphasis of District A, and instead focus more on the greater local and regional context, and the eclectic variation of District B. This is discussed further below. Please see the attached District B Downtown Design Guidelines for reference.
8. Several “green building” site and building design features are incorporated with this project. For instance, some of these features include efficient heating and cooling technologies, building design solar orientation, pervious concrete parking hardscape, and other features.
9. The two existing oak trees are proposed to be maintained with this project. An Arborist Report was prepared and tree protection measures are recommended and incorporated into the Conditions of Approval for this project, should the Planning Commission approve this project. See attached Arborist Report.
8. The property is designated in the General Plan as Community Commercial / Mixed Use Overlay (CC/M-U). The zoning of the property is Highway Commercial – Planned Development / Mixed-Use (C2-PD/M-U).
10. The Development Review Committee (DRC) reviewed this project on January 16, 2007. The DRC supported the proposed use, site plan, environmentally sustainable/green building approach, and the street-level storefront appearance of buildings on Pine Street. Some members of the DRC had concern regarding the proposed “barrel vaulted” roof design, and were uncertain if the roof design is consistent with the Downtown Design Guidelines. The DRC recommended consideration of this project, and the roofline issue in particular, by the full Planning Commission.
11. In accordance with the California Environmental Quality Act (CEQA), this project is Categorically Exempt (Class 32) Infill Projects, from the environmental review process.

**Analysis
and**

Conclusions: The proposed mixed-use, live/work project is proposed to be located on property across from the train station on Pine Street. The existing three lots are proposed to be merged, and the buildings subdivided as a nine-unit condominium project. Parking areas and garages accessed from the alley. A common open space and parking maintenance and use agreement would be required to allow access to and maintenance for all commonly used facilities.

The site is designed to provide for pedestrian orientation along Pine Street, by providing storefront units that are set close to the street, and that incorporate traditional storefront widths. The shops incorporate large front windows, tall ceilings and recessed wood and glass entry doors.

The buildings are clustered in groups of three, and are designed in keeping with the established and planned urban pattern desired in the downtown area. The storefronts have a fairly traditional scale, proportion and orientation, while the units above blend in contemporary design features. The rooflines are designed with a barrel vault design. The form of the barrel vault roof form draws from historic or prominent building forms. A few local examples include the Emergency Services building entrances, post office entry, and entry foyer to a mid-block historic building on 12th Street between Park and Pine Streets. As noted above, the District B, Downtown Design Guidelines do not provide specific guidance on historic architectural themes, but recognizes the eclectic diversity of design elements in the area. Development in this area should be designed to continue the pedestrian orientation and preserve the “street wall” of the downtown area, and fit in with surrounding development. Many properties in this vicinity are underdeveloped, and may not provide the best guidance for architectural context at this time. However, the scale, massing and architectural uniqueness of the proposed buildings are consistent with the intent described in the District B design guidelines.

The residential units are proposed to be accessed from the rear by private entrances and stairwells. The rear units (adjacent to the alley) can be accessed by the alley or from the central common area. The piazza area is accessed from the front by a 14 foot wide walkway from Pine Street or it may be accessed from the alley. The piazza includes a water feature as a focal point. All units include large private courtyards accessed from within the residential units. The common area is intended to be used by either the businesses for special events or for private gatherings of the residents. A common trash and recycling area is proposed along the alley.

Six of the units include either a one or two-car garage. Twelve parking spaces are proposed to be uncovered/open parking spaces. As noted above, the proposed project would require 33 parking spaces. The applicant requests the Planning Commission approve a joint parking provision since the commercial spaces would most likely be daytime uses, and the residences are generally evening uses. There is also likely to be an efficiency in parking demand since the occupants during the day and evening will be the same at both times of the day. The daytime uses would require 19 spaces. If a 66 percent joint parking agreement were to be approved for the daytime use ($19 \times .66 = 13$ spaces), then the proposed project would require a total of 20 spaces.

As noted above, as an infill project, this project is exempt for the environmental review requirements of CEQA, per Class 32.

Reference: Paso Robles General Plan and EIR, Paso Robles Zoning Ordinance, Downtown Design Guidelines, 2006 Paso Robles Economic Strategy and CEQA.

Fiscal

Impact: The applicant will need to participate in the City's Community Facilities District (CFD) to offset the project related impacts from costs associated with the residential use components of this project.

Options: After opening the public hearing and taking public testimony, the Planning Commission is requested to take one of the actions listed below:

By separate motions:

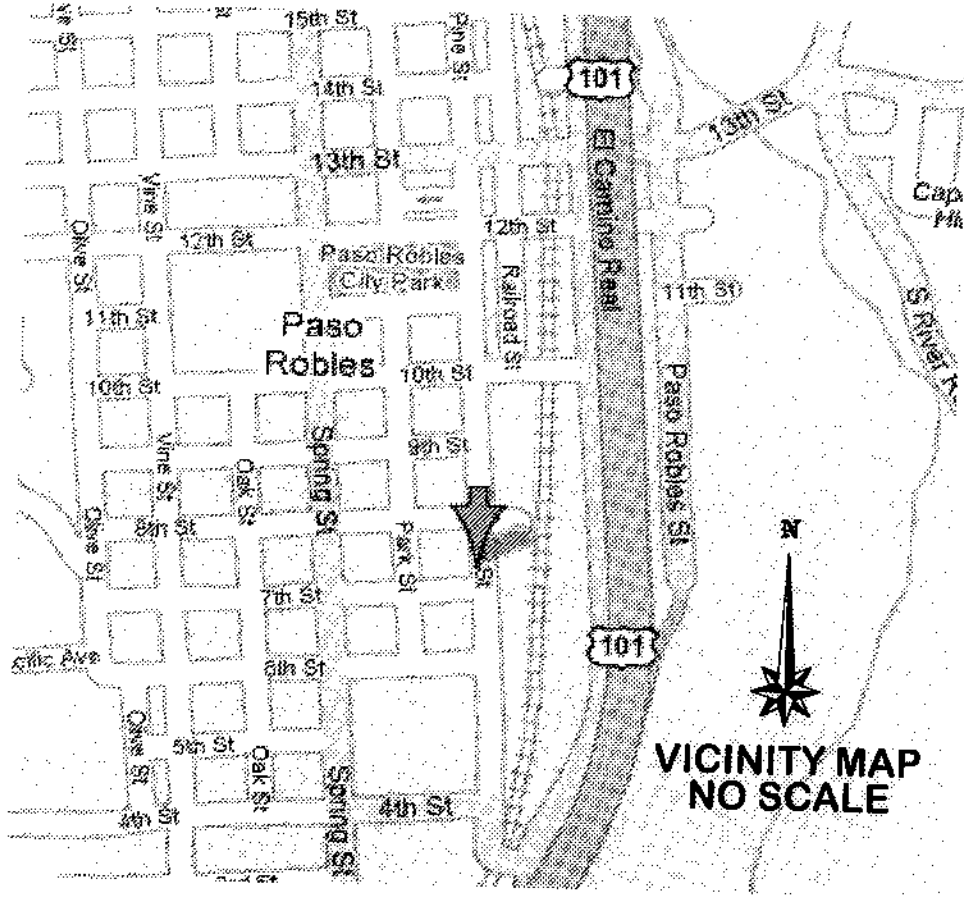
- a. (1) Adopt the attached Resolution issuing approving Planned Development 06-020 and Vesting Tentative Tract Map 2904.
- b. Amend, modify, or reject the above-listed action.
- c. Request additional information and analysis.

Staff Report Prepared By: Susan DeCarli

Attachments:

1. Vicinity Map
2. Site Plan
3. Elevations and Floor Plans
4. Excerpt from the Downtown Design Guidelines, District B
5. Excerpt from the Downtown area parking space requirements and the Joint use parking provisions
6. Excerpt from the Mixed Use development standards, Setback Exceptions
7. Arborist Report
8. Memorandum from City Engineer
9. Resolution to Approve PD 06-020 and VTTM 2904
10. Newspaper and Mail Notice Affidavits

Attachment 1
Vicinity Map



M:OME

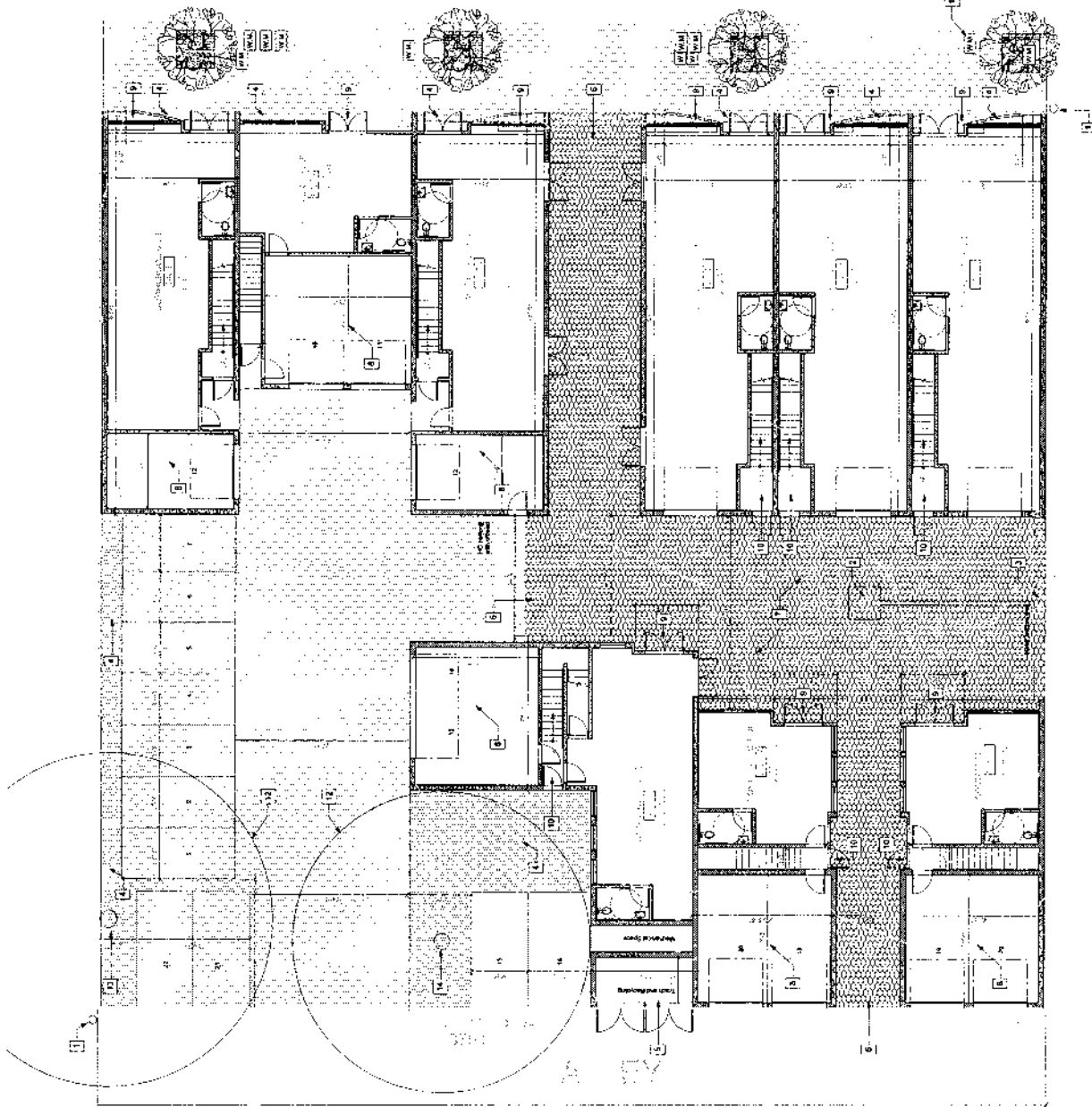
PINE STREET LOFTS
 721 - 731 PINE STREET
 El Paso de Robles, California

Architect: M:OME
 721 - 731 Pine Street
 El Paso de Robles, CA 94025
 Phone: (805) 435-1100
 Fax: (805) 435-1101
 Email: info@m:ome.com
 Project No.: 0122007
 Date: 08/2007

PINE STREET LOFTS

site plan
A0.2

Attachment 2 Site Plan



- AN REFERENCE NOTES**
- 1. HYDRANT
 - 2. FEATURE
 - 3. UTILITY
 - 4. UTILITY
 - 5. UTILITY
 - 6. UTILITY
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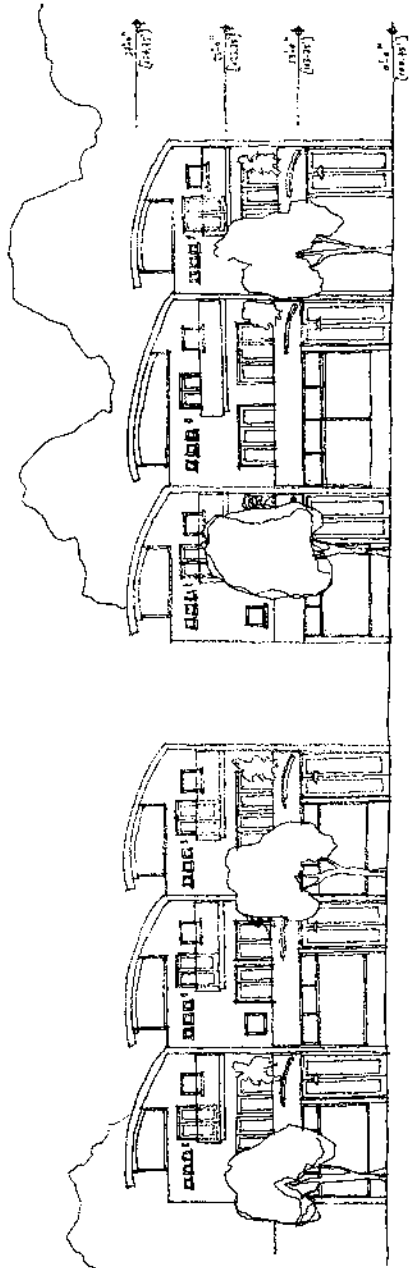
SCHEMATIC SITE PLAN

M:OME
 1000 S. GARDEN ST.
 ANAHEIM, CA 92805
 TEL: 714.771.1000
 WWW.M:OME.COM

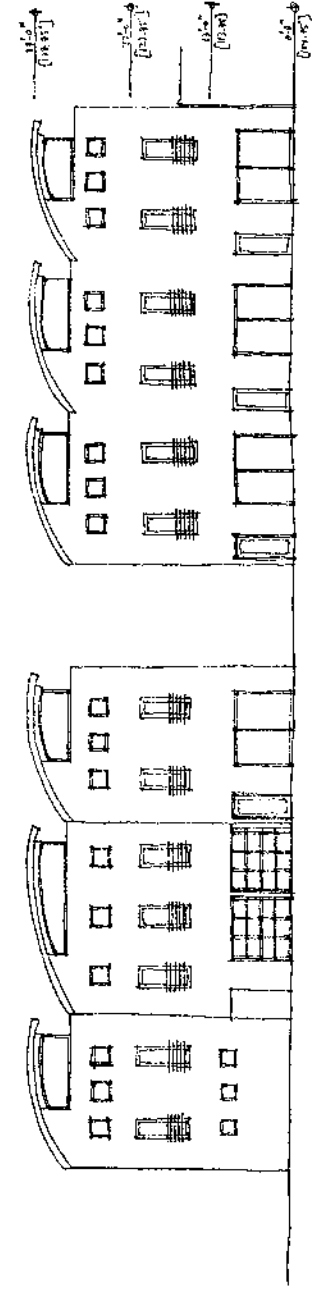
M:OME
 1000 S. GARDEN ST.
 ANAHEIM, CA 92805
 TEL: 714.771.1000
 WWW.M:OME.COM

THE STREET LOFTS
 - 731 PINE STREET
 PASO ROBLES, CALIFORNIA

Attachment 3 Elevations and Floor Plans



EAST ELEVATION — PINE ST.
 1/8" = 1'-0"



WEST ELEVATION — PIAZZA
 1/8" = 1'-0"

DATE: 01/15/2011
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN

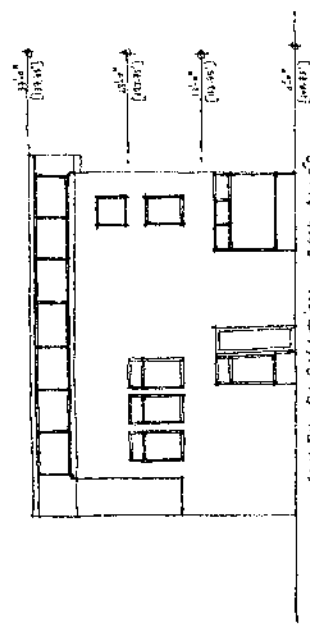
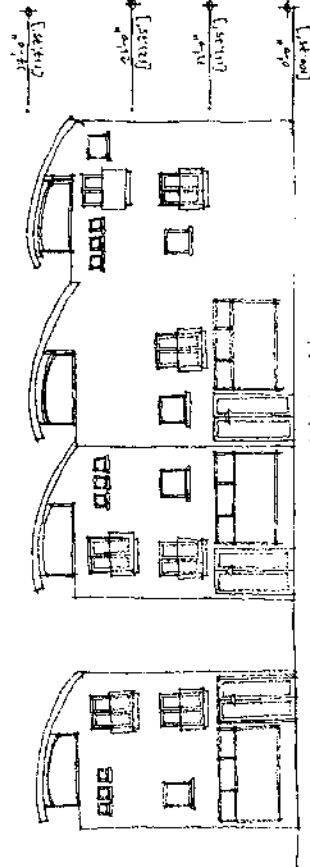
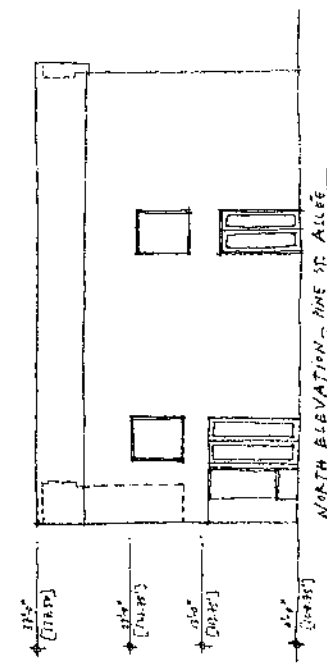
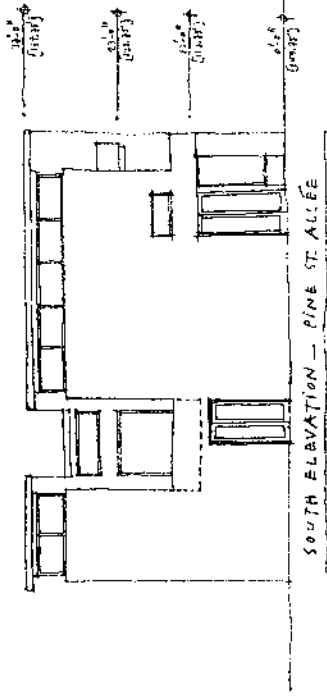
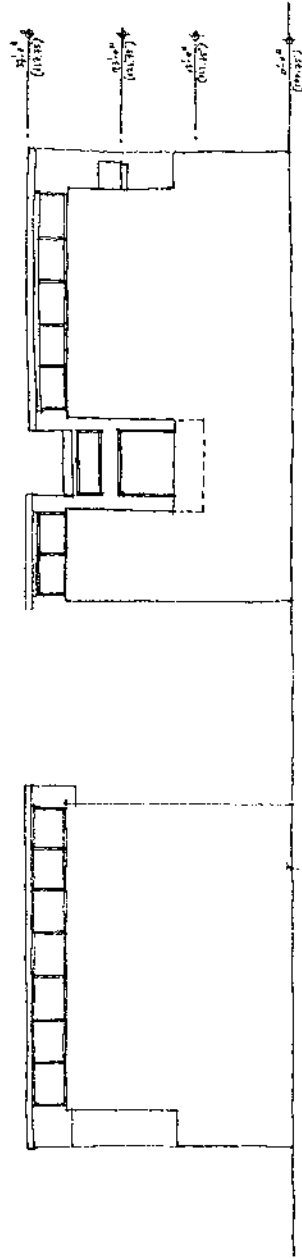
M:OME
MILWAUKEE OPERATING COMPANY
1201 W. WISCONSIN ST.
MILWAUKEE, WI 53233

PINE STREET LOFTS
721 - 731 PINE STREET
El Paso de Robles, California

DATE: 01/15/2011
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN

Elevations

A3.1



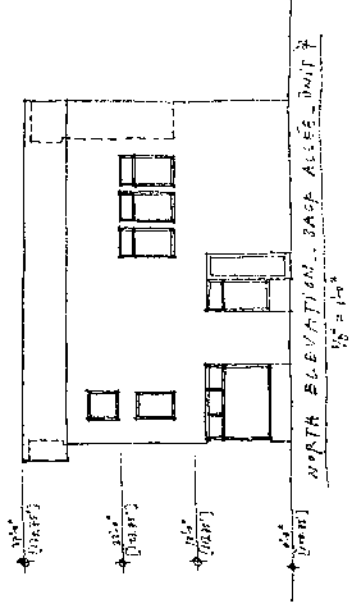
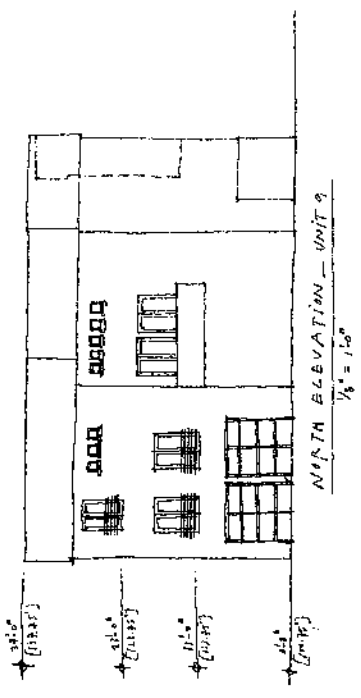
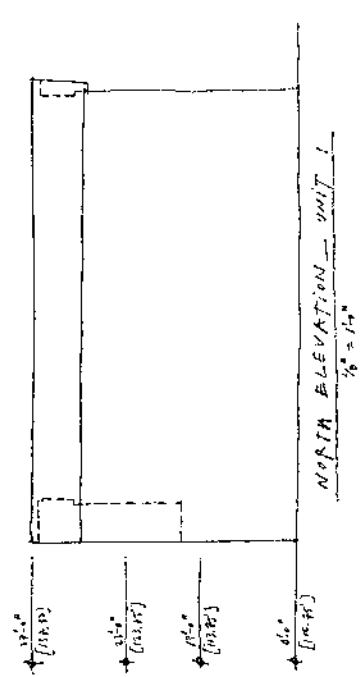
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DATE: 01/15/2014
 DRAWN BY: M:OME
 CHECKED BY:

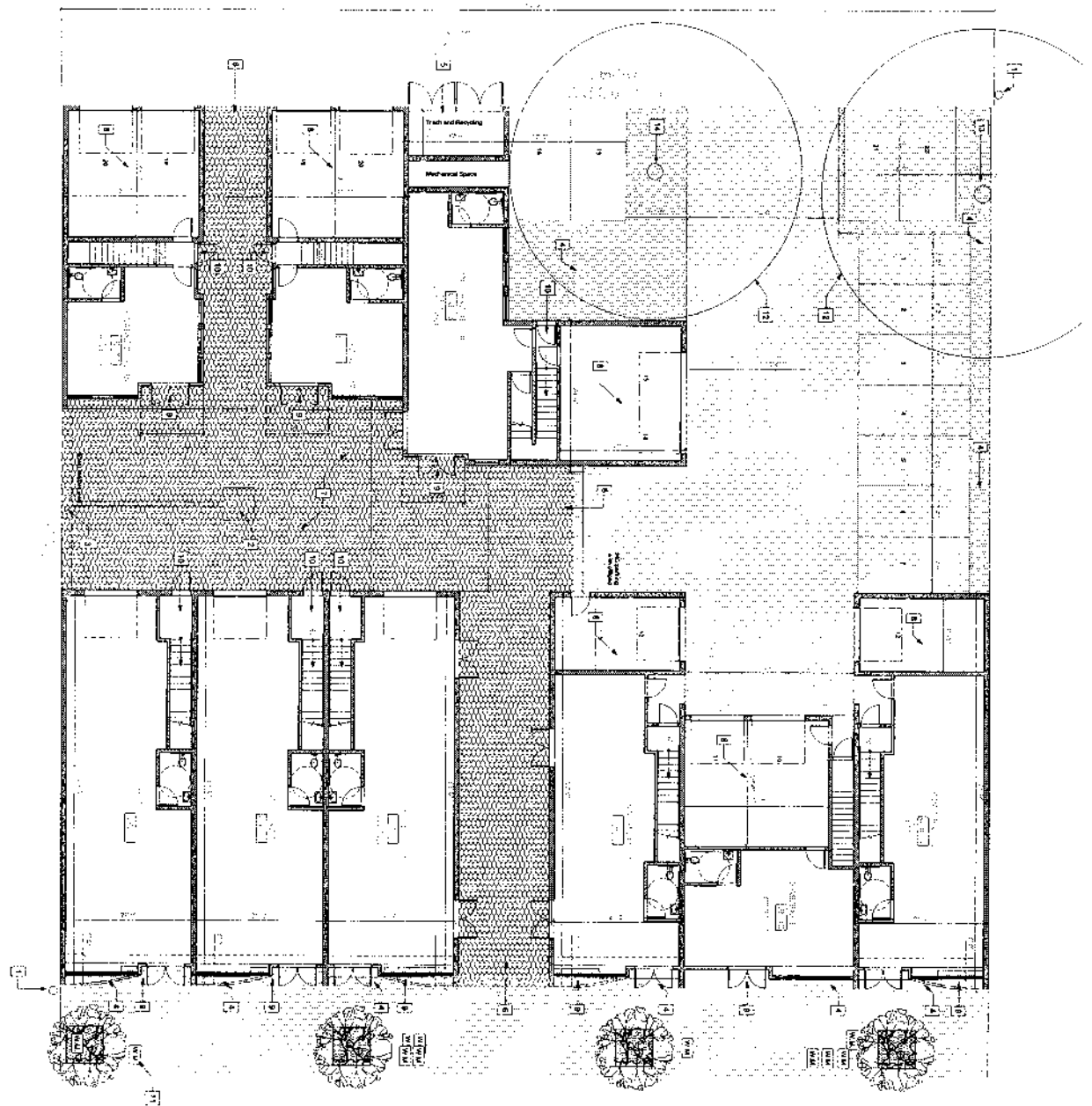
M:OME
 721 - 731 PINE STREET
 El Paso de Robles, California

REGISTERED ARCHITECT
 M:OME ARCHITECTURE
 1000 JEFFERSON ST. SUITE 100
 EL PASO DE ROBLES, CA 94025
 TEL: 805.544.0001

Elevations
 A3.2



- SITE PLAN REFERENCE NOTES**
1. (E) FIRE PROTECTANT
 2. WATER PENETRATING
 3. VENTILATION
 4. LABORATORY, SEE LANDSCAPE SHEETS
 5. FOR MORE INFO
 6. PEDESTRIAN ACCESS
 7. PLAZA, COMMON OPEN SPACE
 8. COMMON, ENTRY
 9. PRIVATE RESIDENTIAL ENTRY
 10. PRIVATE RESIDENTIAL ENTRY
 11. PRIVATE RESIDENTIAL ENTRY
 12. CRITICAL FOOT ZONE, SEE ASSURANT
 13. REPORT FOR MORE INFO
 14. SEE PLAN TO BEHOLD



SCHEMATIC GROUPING FLOOR PLAN - COMMERCIAL

A1.0
ground floor plan

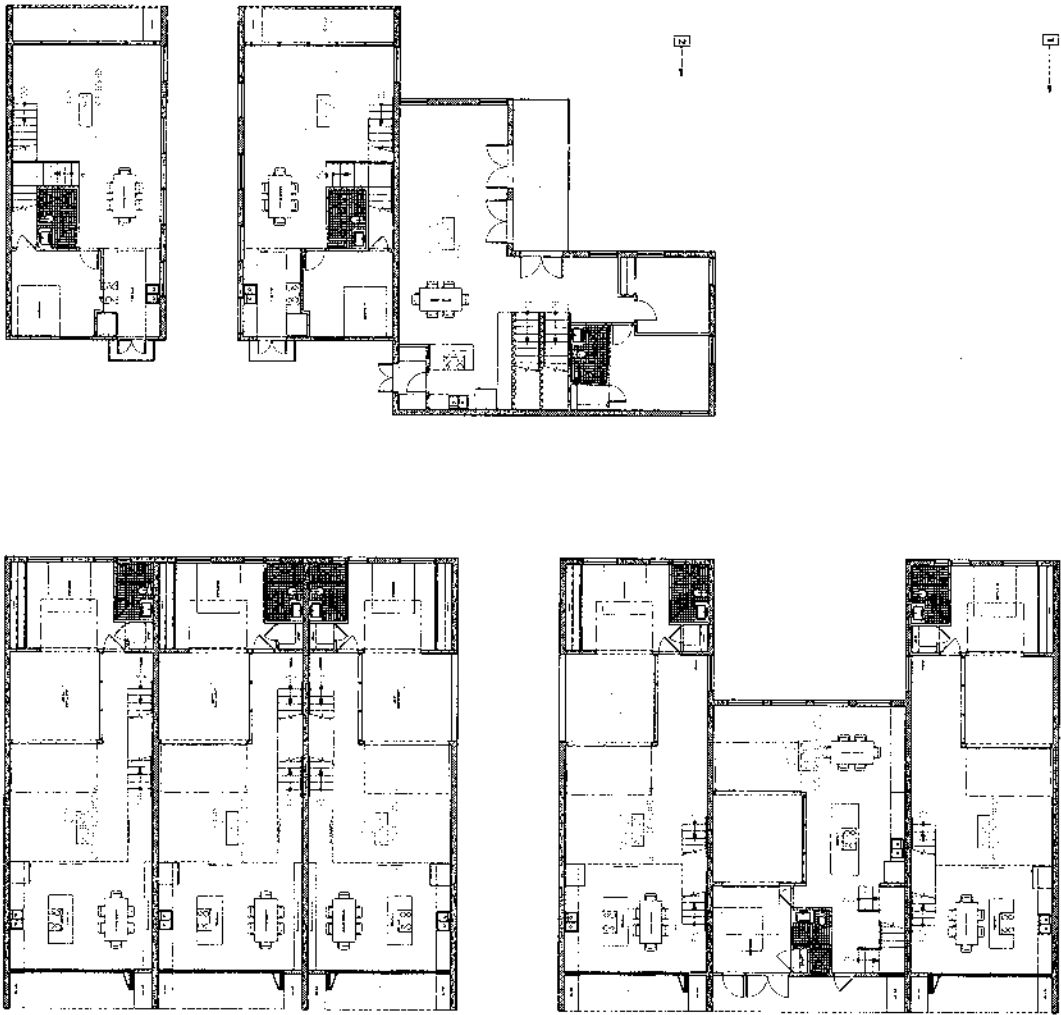
PINE STREET LOFTS
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761-541-1000
www.m:ome.com

SITE PLAN REFERENCE NOTES
 1. 30' OAK, TO REMAIN
 2. 30' OAK, TO REMAIN



SCHEMATIC FIRST FLOOR PLAN - RESIDENTIAL

A1.1
 1st
 floor plan

PINE STREET LOFTS
 721 - 731 PINE STREET
 EL PASO DE ROBLES, CALIFORNIA

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 ARCHITECTS
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 SUITE 100
 ANAHEIM, CA 92805
 TEL: 714.771.1000
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SITE PLAN REFERENCE NOTES
 1. 37' OAK, TO REMAIN
 2. 30' OAK, TO REMAIN



SCHEMATIC MEZZENINE PLAN - RESIDENTIAL

A1.2

MEZZENINE
 FLOOR PLAN

PINE STREET LOFTS

721 - 731 PINE STREET
 EL PASO DE ROBLES, CA 94530

OWNER: M:OME
 ARCHITECT: M:OME
 DATE: 08/2015
 SCALE: AS SHOWN

PINE STREET LOFTS
 721 - 731 PINE STREET
 El Paso de Robles, California

M:OME
 ARCHITECTS

1.

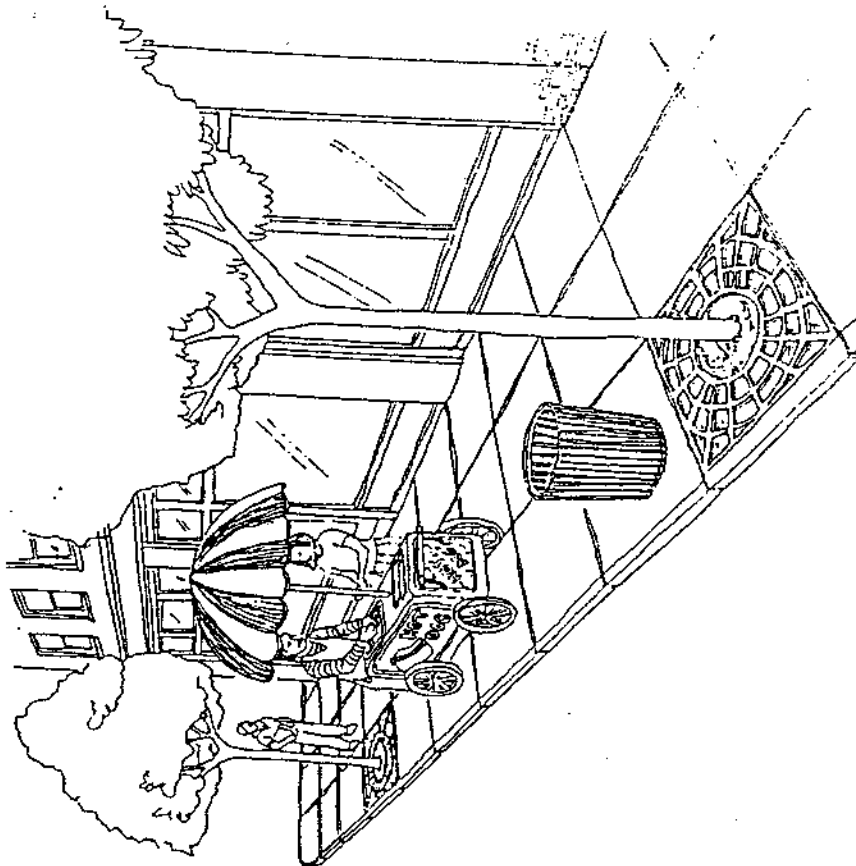
2. HISTORIC DISTRICT "B"

INTRODUCTION

The downtown park is the heart of Paso Robles. It is not, however, in the middle of the business district. The commercial old town (Historic District "A") is mostly to the north. The area to the south is presently under-utilized, vacant, or blighted. This is not what our city founders had in mind nor is it good planning.

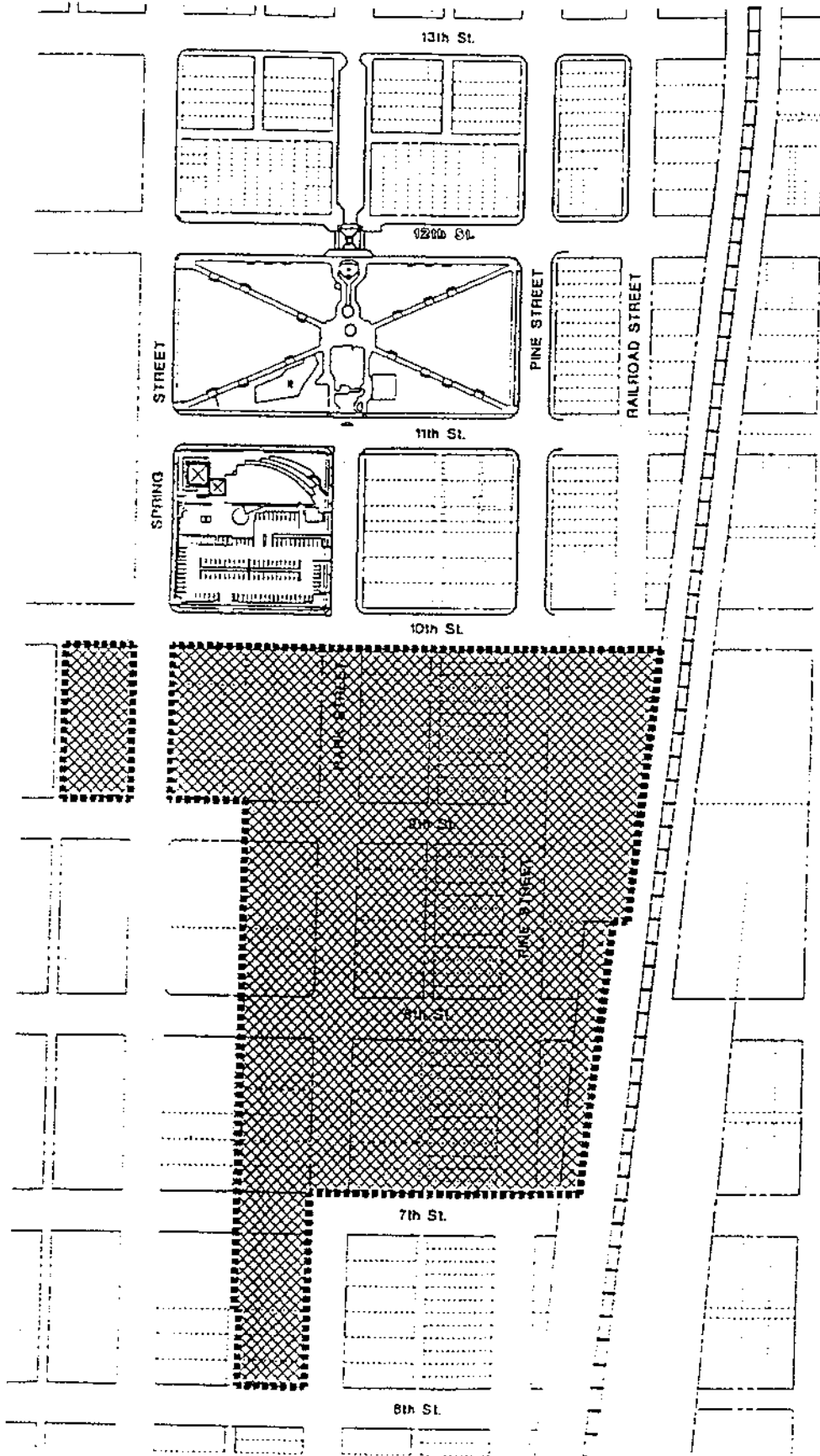
The purpose of Historic District "B" is to rebalance the town plan, south of the park, by establishing an urban fabric similar to that of the historic downtown area. Park and Pine Streets are to be pedestrian oriented spines linking downtown to the post office and multi-modal station. Park Street is a natural for pedestrians because the City Park limits the flow of North-South traffic.


Fundamental to this district is that buildings connect together along the sidewalk to compose a street. The coherence of the street wall, based on building's general characteristics, makes and defines the space. The ultimate goal is to have quality urban building facades should feel like traditional buildings be forced to adhere to traditional styles or ornate



HISTORIC DISTRICT "B": South of the Park

This area is similar to the old District "A" and meets the same requirements except that buildings need not be strictly historical. Park Street should be a major pedestrian thoroughfare; parking lots accessing off of East-West side streets or alleys and not off of Park Street.



 HISTORIC DISTRICT B "SOUTH OF THE PARK"

SITE DESIGN

1.1 SETTING & USE

(a) This district is meant to be an expanded commercial district similar to District "A" with an allowance for existing uses and buildings until they transition due to market forces.

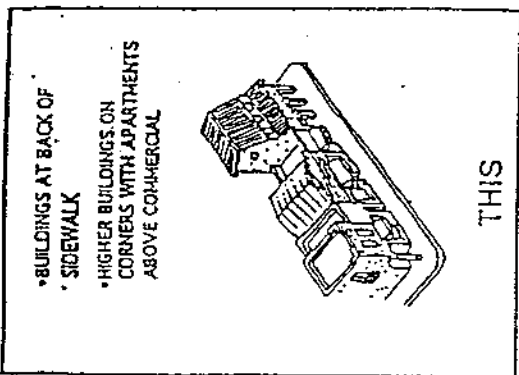
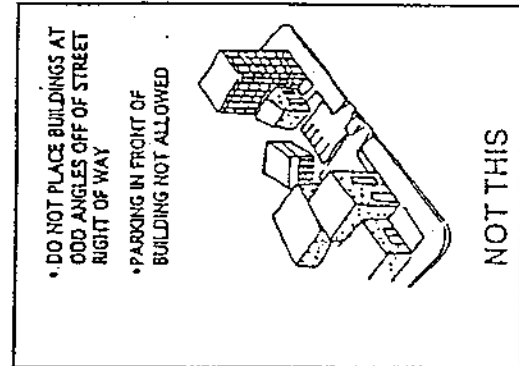
1.2 In siting government buildings, they should reinforce the urban fabric as prescribed for other buildings in this district with special emphasis on maintaining a "street wall" on Park and Pine Streets.

1.3 Density is important to overall viability of a downtown district like this one. Two-story, mixed use buildings are strongly encouraged. Street parking should be head-in angled parking as north of the park. Access to parking should be from numbered cross streets or from a mid-block pass through.

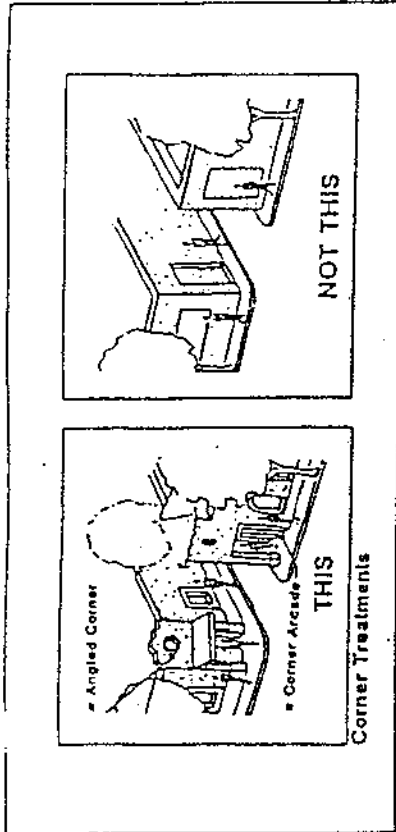
2. BUILDING LAYOUT & PARKING

2.1 Parking standards should be modified from 2,000 to 1,750 square feet/car space so that a two-story building can fit comfortably on a typical lot, with the building up front on the sidewalk and one row of single-loaded parking spaces, 90-degrees behind the building off the alley.

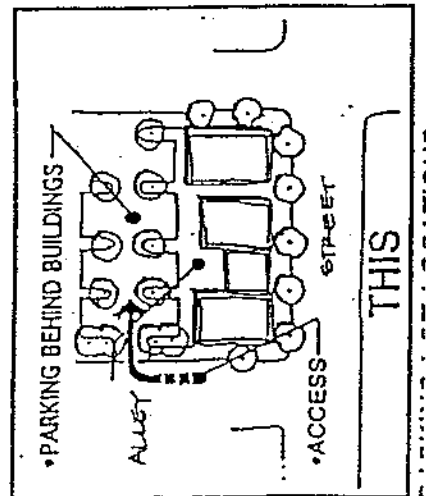
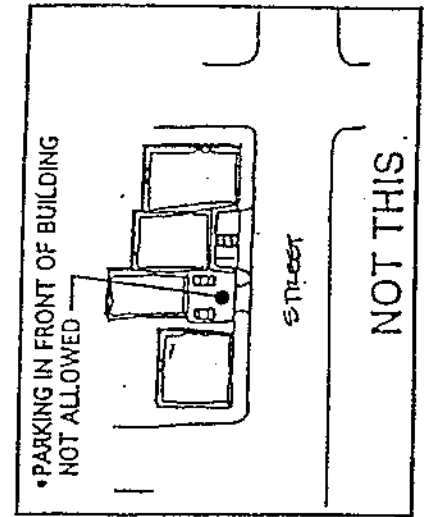
Note: Many of the illustrations are from Paso Robles Ordinance No. 709 on "neo-traditional development" which was approved by the City Council on April 2, 1996.



BUILD TO BACK OF SIDEWALK



To provide convenient pedestrian circulation and architectural interest, corner buildings should incorporate features such as angled corners, walk-through arcades, and tower elements.

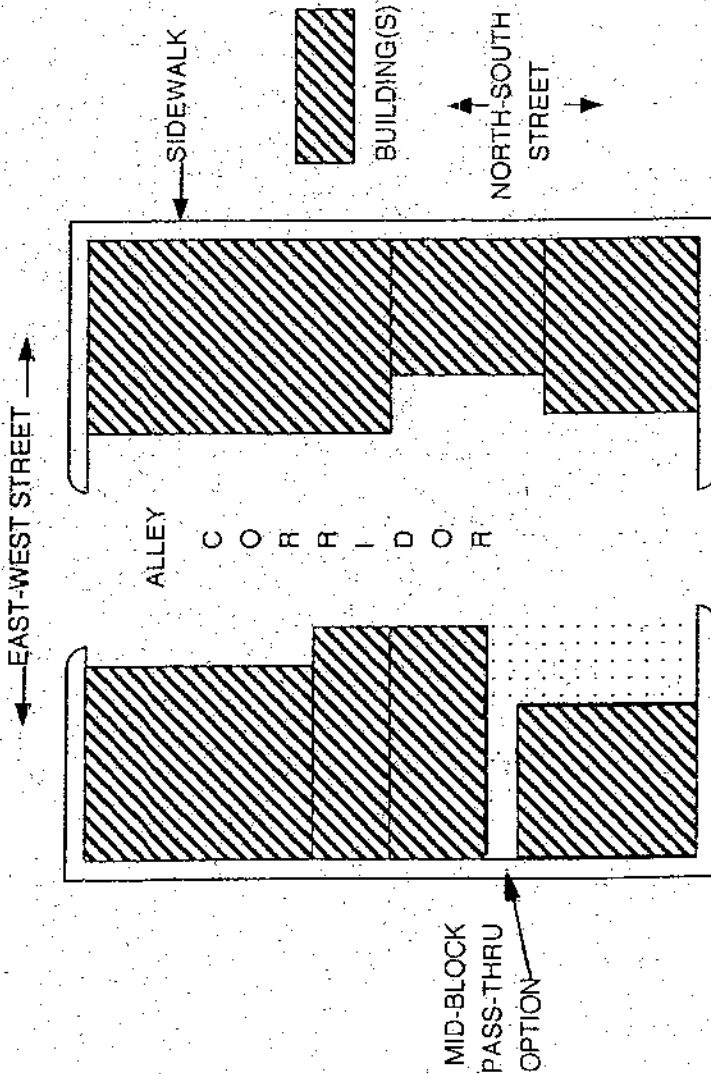


2.2 Setbacks

- (a) Front: Zero setback required. Store fronts and building entries may be slightly recessed (10 feet maximum) as long as the building façade and structural elements are placed at the property line.
- (b) Side Yard: There should be no side yards unless it is mid-block breaks.
- (c) Corner Lots at intersections can have buildings that angle back or have recesses at corners.
- (d) Variations of the above allows for siting buildings around existing Oak trees.

2.3

- (a) Parking is required to be in the rear of buildings off the alleys with access from east/west numbered streets. Where alleys have been abandoned, driveway easements, dedications, or reciprocal parking and access agreements should be required. Ideally, parking lots behind buildings should link together to form a continuous corridor of double loaded parking serving lots on either side with typical landscaping and lighting requirements.

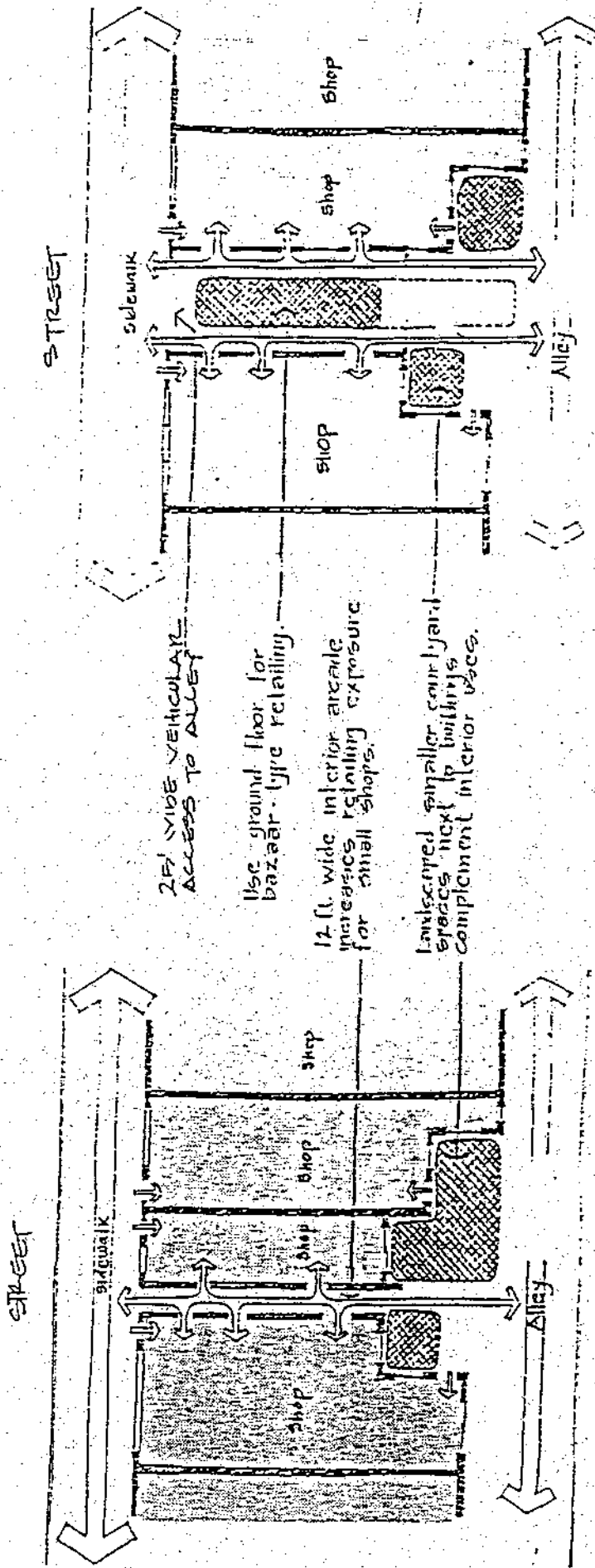


PASO ROBLES DOWNTOWN-BASIC SITE PLAN

- * SQUARE STREET BLOCKS APPROX 300 FT PER SIDE
- * ALLEY CORRIDORS TO PROVIDE:

- OFF STREET PARKING
- TRASH CONTAINMENT & PICKUP
- LOADING & UNLOADING
- FIRE DEPARTMENT ACCESS

- * SIDEWALKS FACING ALL FOUR STREETS
- * BUILDINGS FACE STREET & UP TO SIDEWALK--ZERO SET BACK
- * BUILDING FRONT WALLS CONNECTED TOGETHER IN SAME PLANE (street wall)
- * ON STREET DIAGONAL PARKING ALLOWED



Parking

Option 1

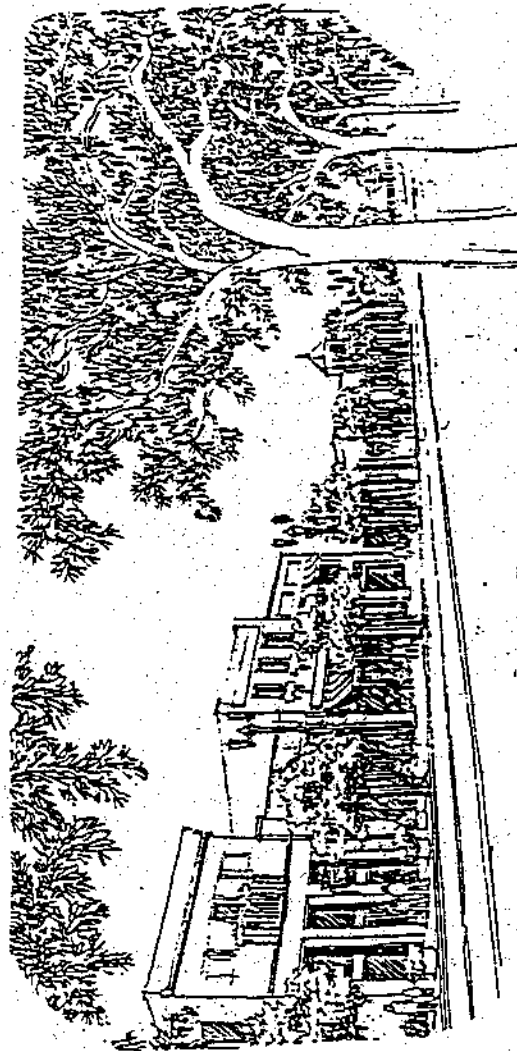
Mid-Block Pass-Through

The arcades will encourage better use of parking areas and increase business exposure for merchants who facilitate parking area access. There are significant design and merchandising opportunities inherent in this concept. Private owners will benefit from adding this important element to the area's design framework.

The integrity of the "Street Wall" should be adhered to on Park and Pine Streets. There should only be one east/west break per block, and this should be near mid-block. This break can have one-way vehicular access to the parking behind buildings, or it can be access for pedestrians, or it can be a combination of both. It is encouraged that pedestrian access be treated as shopping or office arcades with store fronts on either side; or where there is vehicular access, walks and landscaping should be provided.

3. CIRCULATION

3.1 The building's main entries should be on Park or Pine Streets. However, since the parking is in the "rear", the backs of the buildings should be designed with a secondary entry. Pedestrian circulation from alley parking lots should be defined with walks, changes of paving or grade, landscaping, or overhead structures defining the path of travel.



BUILDING DESIGN

1. GENERAL

1.1 The public realm of sidewalk and street is intended to be an urban space like a long, high outdoor room. It should be understood clearly that building facades are the walls of this outdoor room. The design of building facades should reinforce the street wall.

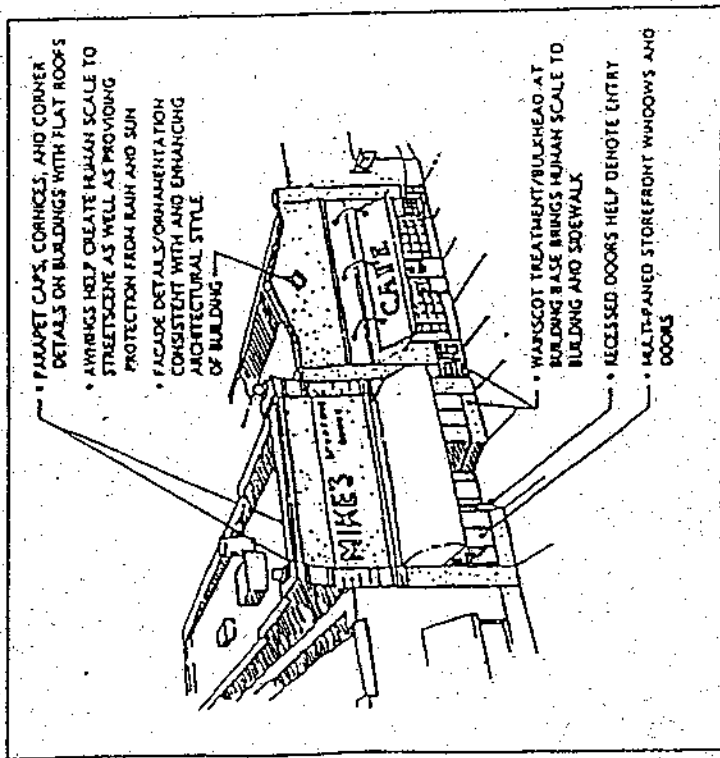
1.2 In the modern architectural period, 1920 to 1980 (Post WWII in Paso Robles), building facades were to be an expression of internal needs as they interfaced with outside requirements (form follows function.) Other historical, social, and contextual factors were often ignored leading to buildings that do not fit in. In Historic District "B", there is basically nothing left of the historic fabric to draw upon. Nonetheless, new buildings should have some association with a greater local and regional context.

1.3 Various styles reflecting the eclectic architectural heritage are encouraged: The Southern California-style, Mediterranean architecture does not reflect most of the existing buildings in Downtown Paso Robles, therefore, this type of design would not compliment the downtown. Imitating historic buildings is not practical and often leads to cheap results. The area should not seem artificially regulated or look like a historical theme park. Instead, buildings should be based on interpreting form, massing, and



Commercial Design Features

- Awnings
- Wainscot/bulkhead treatment
- Recessed entry
- Angled corners/Walk-through arcades
- Tower elements on corner buildings at street intersections
- Roof forms consistent with architectural style
- Parapet walls with cap/cornice detail on flat roofs
- Corner details on flat roofs
- Exposed roof beams/rafter tails - when consistent with architectural style
- Awnings, balconies and porch features
- Multi-paned storefront windows/doors
- Vertical orientation of windows
- Window boxes
- Recessed arched window(s) when consistent with architectural style
- Consistency of materials and colors with style of architecture
- Ornamentation - tile accents, relief bands, grill work over windows, etc.



- PARAPET CAPS, CORNICES, AND CORNER DETAILS ON BUILDINGS WITH FLAT ROOFS
- AWNINGS HELP CREATE HUMAN SCALE TO STREETSCAPE AS WELL AS PROVIDING PROTECTION FROM RAIN AND SUN
- FACADE DETAILS/ORNAMENTATION CONSISTENT WITH AND ENHANCING ARCHITECTURAL STYLE OF BUILDING
- WAINSCOT TREATMENT/BULKHEAD AT BUILDING BASE BRINGS HUMAN SCALE TO BUILDING AND SIDEWALK
- RECESSED DOORS HELP DEMOTE ENTRY DOORS

Historic Old Town Design Features (Neo-Traditional)

8.

ornamentation of local and regional building types in fresh ways; or by a contemporary and invigorating application of design principles that furthers a particular design scheme while supporting the greater street wall composition.

2. BUILDING FORM

2.1 MASSING

(a) Commercial buildings typically should have a block-like form and raised parapet. Variations can be allowed if the design has merit and is deemed compatible with this district.

(b) The original subdivision was based on 25-foot and 50-foot wide lots. Traditional building widths in Paso Robles' downtown are a function of this increment. New buildings on larger sites should reflect this tradition by breaking large building masses into smaller ones. The mass of a building can be broken up by slight changes of planes, projections, or recessed balconies, arcades, or variations of parapet height and form in a subtle process of articulating relatively flat surface elements and solid and void relationships.

2.2 RHYTHM

(a) Building facades or portions, should be broken up into smaller bays in which store fronts or glazing packages are plugged in. This is one of

the fundamental building blocks allowing for pedestrian orientation; a "window shopping" street.

(b) The overall effect of breaking buildings into smaller masses and masses into bays should give the façade (whether one story or two) a vertical emphasis. The repetition of these vertical bays creates a rhythm for the building which compliments similar rhythms on the block. This is one of the key characteristics of "Main Street".

(c) In similar fashion, horizontal accents should act as counterpoint to verticality and tie into horizontal rhythms across the block. For example, building bases, bulk heads, store front heights, and cornices can mesh with similar details on adjacent buildings.

2.3 TOP OF BUILDING AND ROOF FORM

(a) Buildings having predominately residential type pitch roofs are not encouraged.

(b) Raised parapets, parapet cap and cornices that conceal actual roof are encouraged. Parapets may be flat or have some form.

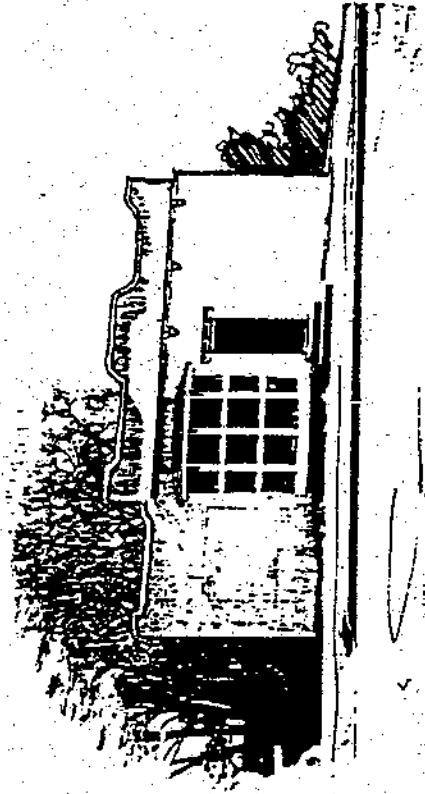
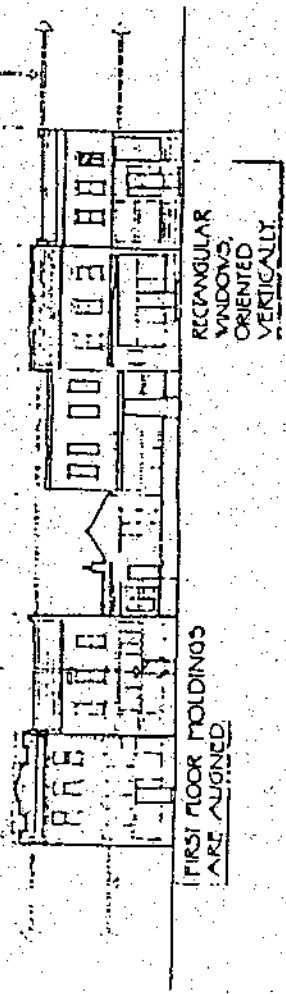
(c) Roof elements may be used as accents on tower, turrets, balconies, recesses and similar arch features. Such elements are encouraged at corners of buildings at the end of the block at intersections.

(d) Mansard Roofs will not be allowed.

SIMILAR HEIGHTS AND ALIGNED CORNICES

BUILDINGS HAVE SIMILAR WIDTHS

RECESSED ENTRIES
DECORATED PARAPETS



3. FAÇADE ELEMENTS AND DETAILS

3.1 STORE FRONTS

(a) Store front windows and doors should plug into the void section between façade structural elements such as piers or pilasters. The store front is to be relatively transparent encouraging pedestrian activity by providing views into shops, offices, and businesses.

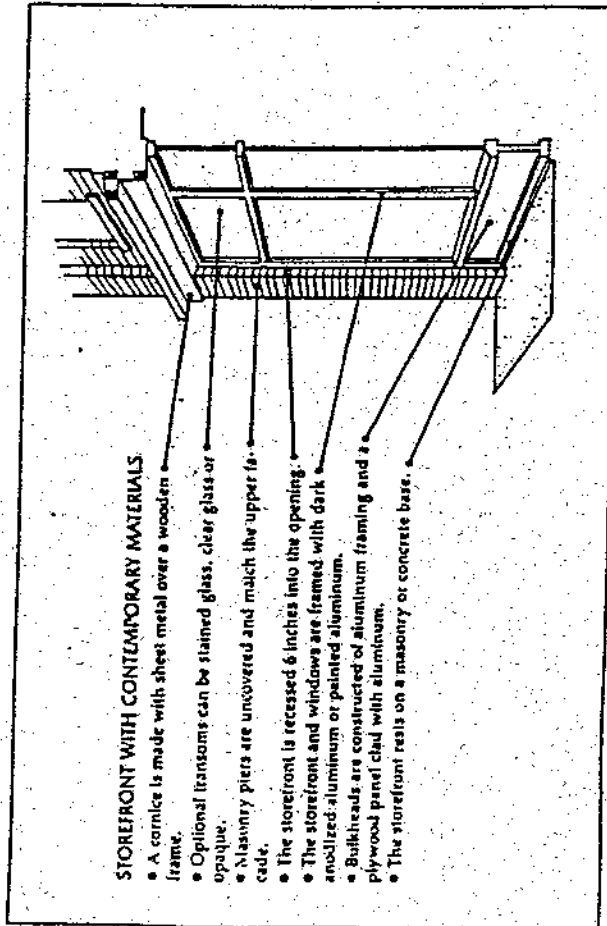
(c) Entries should be recessed to provide weather protection, more display area, and a transition from interior to exterior spaces.

(d) Features of store fronts are a transom area above display windows and doors, and a bulk head or wainscot treatment at base.

(e) Buildings with establishments where goods and services are not offered, should contain some windows and other passive elements focused on the pedestrian. These may include landscape niches, alcoves, display areas, benches or similar.

3.2 At upper floors, windows should be smaller. They should be vertical in proportion and may be individual or grouped. They should have double-hung or casement configurations unless the design warrants otherwise.

3.3 Architectural embellishments and projections are desirable such as awnings and



11.

window treatments. They may be based on traditional elements and ornamentation such as cornices, brackets, caps, pliers, etc., or they may be contemporary relief bands, material accents, or other devices. In either case, elements should have edges and not be flat. They should be based on design principles of proportion and scale, and support the overall design concept.

3.4 Effort should be made to coordinate heights of various building elements to adjacent buildings. Linking of store fronts, cornices, belt courses, bulk heads, and parapets will reinforce the horizontal rhythm of the street.

(END OF SECTION)

NOTE: See section "Common Guidelines, All Districts" for additional applicable guidelines.

Design Guidelines.pdf

**MAIN STREET DESIGN STANDARDS---Revised Jan 1999
(JOINT PAC/MAIN STREET DESIGN COMMITTEES)**

"SIGNIFICANT CONCLUSIONS"

1. HIGH QUALITY ARCHITECTURE IN BUILDINGS, PARKS, PLAZAS, TRANSPORTATION AND PARKING HELPS TO BRING CUSTOMERS DOWNTOWN.
2. TECHNIQUES TO IMPROVE TRAFFIC FLOW ARE NEEDED ON THE MAIN BOUVELARDS OF SPRING & 13TH STREETS, ALSO VINE AND RIVERSIDE STREETS.
3. IMPROVEMENTS FOR PEDESTRIAN TRAFFIC ARE NEEDED ON PARK AND PINE STREETS.
4. ADDITIONAL PARKING LOTS WILL BE NEEDED FOR FUTURE GROWTH. SOME THESE WILL NEED AN AREA LARGE ENOUGH TO BE EXPANDED VERTICALLY.
5. THE WHOLE DOWNTOWN AREA SHOULD NOT HAVE TO MEET THE SAME DESIGN REQUIREMENTS. THE AREA IS DIVIDED INTO DISTRICTS TO SEPARATE THE REQUIREMENTS.
6. ALLEYS PROVIDE THE IMPORTANT FUNCTIONS OF OFF-STREET PARKING, FIREFIGHTER ACCESS, TRASH REMOVAL AND LOADING & UNLOADING. ALLEYS SHOULD BE IMPROVED AND RESTORED.
7. THOSE HISTORIC BUILDINGS WHICH ARE IN REASONABLE SHAPE SHOULD BE PRESERVED.
8. A VARIETY OF ARCHITECTURAL TECHNIQUES CAN BE USED ON NEW OR IN-FILL BUILDINGS, AS LONG AS THEY REFLECT A QUALITY DESIGN AND THEY DON'T CLASH WITH EXISTING BUILDINGS IN THE AREA.

21.22.035 Downtown area parking space req

A. Retail Commercial, Service Commercial, and Commercial Recreation land uses located within the downtown area shall be required to provide off-street parking spaces at the ratio of one (1) space per 400 square feet of gross floor area.

B. Residential Uses

1. Dwellings containing two (2) bedrooms or more shall be required to provide off-street parking spaces at the ratio of one and a half (1.5) parking spaces per dwelling unit.

2. Dwellings containing one (1) bedroom shall be required to provide off-street parking spaces at the ratio of one parking space per dwelling unit.

3. Studio dwellings shall be required to provide off-street parking spaces at the ratio of three quarters (.75) of a parking space per dwelling unit.

C. All parking provided for any downtown building or use shall be located within an enclosed structure or behind the building and accessed off an alley. When alley access is not available, parking should be accessed from a local street if available and from the arterial street if no other access is available. In any case, parking shall be completely screened from the primary street through the use of sufficient landscaping, screen walls or a combination of landscaping or screen walls. This requirement does not apply to municipal parking facilities provided for general downtown use.

D. Downtown buildings not meeting current parking requirements that are replaced or reconstructed, shall not be required to provide more on-site parking than existed at the time of demolition or remodel. Expanded floor area beyond what previously existed shall be subject to downtown parking requirements.

E. The Downtown Area parking requirements contained in this section may be satisfied partially or in full through the payment of an In-Lieu Parking Fee. The In-Lieu Parking Fee program shall be administered as follows:

1. **Establishment of Amount of Fee:** The amount of the In-Lieu Parking Fee shall be set by separate resolution of the City Council. The City Council may adjust the fee at their discretion as frequently as is deemed necessary based on factors including, but not limited to, inflation, the cost of providing new parking spaces, and the market value of parking spaces.

2. **Applicable Geographic Area:** Properties eligible to apply to participate in the In-Lieu Parking Fee program shall be those parcels located within the Geographic Boundaries of the Downtown Area as shown on Exhibit "A", Figure 21.22-4 of the City's Zoning Regulations

3. **Payment of Fee:** Payment of In-Lieu Parking Fees shall be made to the City in one lump sum calculated and paid at the time of building permit issuance or if a building permit is not required, within fourth-five (45) days of request by City for payment. The In-Lieu Parking Fee shall be a one-time-only, non-refundable payment and shall be considered full satisfaction of the off-street parking requirement for the number of parking spaces for which the fee was paid.

5. **Effect of Payment:** In-Lieu Parking Fees shall be used exclusively to make available additional parking spaces for public use within the Downtown Area and does not guarantee the construction of spaces in any particular area of the Downtown Parking Area or within any particular period of time. In-Lieu Parking fees are solely an alternative means of satisfying the applicant's obligations to provide off-street parking as required by this Chapter and payment of the In-Lieu Fee does not carry any other guarantees, rights, or privileges to the applicant. The location, type, and configuration of parking spaces funded by In-Lieu Parking Fees are at the City's sole discretion.

21.22.090 Location of parking facilities.

Off-street parking facilities shall be located on the lot on which the principal land use is located unless such spaces cannot reasonably be located on such lot. In such a case, parking spaces may be located on any land within three hundred feet of the property with the principal land use; provided, that the following conditions are met:

A. A written agreement between the owner of the property with the parking spaces and the principal land user assuring the retention of the parking spaces for the principal use shall be properly drawn and executed by the parties concerned, approved as to form by the city attorney and shall be recorded in the office of the county recorder and copies filed with the city prior to issuance of a building permit or certificate of occupancy for the principal use. The term of such an agreement shall be a minimum of fifteen years.

B. The principal use shall be permitted to continue only as long as its parking requirements are met. (Ord. 536 N.S. § 1 Exh. A (part), 1987)

21.22.100 Computing parking for mixed occupancies in a building.

In the case of mixed uses in a building or on a lot, the total required number of off-street parking spaces shall be the sum of the requirements for the various uses. (Ord. 536 N.S. § 1 Exh. A (part), 1987)

21.22.110 Common facilities.

Common parking facilities serving more than one use may be provided in lieu of individual requirements, but such facilities shall be approved by the city planner, as to size, shape and relationship to business sites to be served. The total of such off-street parking spaces shall not be less than the number required for the various uses. (Ord. 536 N.S. § 1 Exh. A (part), 1987)

21.22.120 Computation of required parking spaces.

A. Consideration of Fractional Remainders. Where calculation of the number of spaces required results in a fractional number, any fraction equaling one-half or more shall be rounded to the next highest whole number.

B. Parking in Buildings. Where required parking computations are based on floor area, floor space devoted to parking within the building shall not be included in this computation.

C. Drive-in or Drive-through Lanes. Areas normally used for drive-in customer service such as drive-in windows and as pump service areas shall not be counted as required parking spaces.

D. Spaces for Handicapped. Handicapped spaces shall be provided as required by state statute. (Ord. 536 N.S. § 1 Exh. A (part), 1987)

21.22.130 Joint use parking.

The planning commission may authorize the joint use of parking facilities by the following type of uses under the following conditions:

A. Up to sixty-six percent of the parking facilities used primarily for a daytime use may be provided by the parking facilities used primarily for a nighttime and/or Sunday use. The reverse is also true: up to sixty-six percent of the parking facilities used primarily for a nighttime and/or Sunday use may be provided by the parking facilities used primarily for a daytime use.

B. Up to eighty percent of the parking facilities required by this chapter for a church or for an auditorium incidental to an educational institution may be supplied by parking facilities used primarily for daytime use.

C. Conditions Required for Joint Use.

1. The applicant shall show that there is no substantial conflict in the principal operating hours of the buildings or uses for which the joint use of off-street parking facilities is proposed.

2. Parties concerned in the joint use of off-street parking facilities shall show legal agreement for such joint use. The agreement, when approved as conforming to the provisions of this chapter, shall be recorded in the office of the county recorder and copies filed with the city. The minimum

21.18C.050 Site design guidelines.

A. Scale and Proportion. To promote development that fits in with the surrounding context of existing and planned development patterns, mixed-use project design should avoid monolithic building scale and proportions. This can generally be achieved by evaluating the massing and scale of the proposed project within the existing context of surrounding development. Street level design elements should be oriented to a pedestrian scale.

B. Use Limitations. First story uses along street frontages should only be commercial uses. Storage, manufacturing (except for arts and crafts), vehicle uses including repair, washing or installation, or residences should not be permitted on the first floor along the property street frontage. Residences should be located above the first floor, or to the rear or side of the commercial use(s) on the site.

C. Building Entrance Orientation. To facilitate pedestrian scale and activity, and to provide increased connectivity between businesses, the public realm and pedestrians, primary building entrances should be located along public street frontages.

D. Window Placement. Window placement for street level businesses should be located along public street frontages at a height that pedestrians can easily look into and see business activities, such as types of products or services provided there.

E. Pedestrian and Visual Linkage with Public Spaces. Mixed-use development projects should incorporate pedestrian linkages to the public realm within features such as walkways, corner entrances, paseos, outdoor patios, interesting hardscape and/or water features and landscape materials that transcend throughout the planning area (i.e. street trees, street furniture and hardscape materials).

F. Colors and Materials. Building colors and use of materials should be as authentic as possible, in keeping with the building architectural style and regional influences. Corporate architectural design and logos are strongly discouraged and may only be used if appropriately integrated into the architectural design and scale.

G. Residential Privacy by Design. Views into primary living quarters of residential units should be avoided so that they are not readily visible from the public right-of-way or from other businesses or residences. For instance, this can be achieved by locating residences on the second floor and/or with living area windows oriented away from the views from other adjacent windows. Also, privacy screening can be incorporated with use of landscaping, fencing and/or in combination with garden walls for outside private open space areas.

H. Open Space "Usability". Open space should be designed with the functional use as the primary goal, not as left over or awkwardly designed space. Minimum dimensions of private open space should be a minimum of eight feet in width.

I. Trash Enclosures. Trash enclosures should be located in a manner that will result in the least potential impacts to residences from noise and odors. They should also be located so that they are easily accessible for trash collection. Trash enclosures should be screened from public view with walls, fences and landscaping, and designed with use of colors and materials so that they are architecturally compatible with the buildings on the site.

J. Outdoor Lighting. Outdoor lighting fixtures, either wall mounted or light standards, should be in keeping with the architectural theme of the buildings. They should provide enhanced pedestrian safety, in addition to street light fixtures, and accentuate, but not dominate architectural features. (Ord. 885 N.S. (Exh. B), 2004)

21.18C.060 Subarea site development criteria and design guidelines.

A. Downtown Core. The Downtown Core of Paso de Robles is envisioned to continue the historical character of development. The design of development in this area is generally implemented through the Downtown Design Guidelines. Existing oak trees shall be preserved, consistent with the City's oak tree preservation ordinance.

B. Outer Core. The Outer Core generally supports continued residential uses with office uses mixed in. The overall scale and design of uses in the Outer Core areas should be consistent with the underlying zoning district. For instance, mixed-uses in the multi-family zoned areas should be designed to fit within the residential context of the neighborhood with residentially-oriented building details and scale.

C. Eastside Area. Mixed-use development in the Eastside Area shall be designed to retain oak trees and protect water course drainages, and be designed to reduce cut and fill slopes by use of

21.18C.040 General site development standards.

Development Standards	Site Development Criteria	
Height	The height limitations of the underlying zoning districts shall apply.	
Setbacks ¹	Residential Multi-Family Districts:	Commercial Districts:
	Front--10 ft./garages 20 ft.	Front--None 1 st story/5 ft. 2 nd story, 10 ft. 3 rd & 4 th story
	Side--5 ft. 1 st story/10 ft. 2 nd story	Side--None 1 st story/5 ft. 2 nd story
	Rear--10 ft	Rear--None
Density	Residential Multi-Family District: 12 dwelling units per acre	Commercial Districts: 20 dwelling units per acre
Building Features	Building walls--building walls/planes on all sides of buildings shall be vertically and horizontally offset or otherwise articulated through use of materials on the wall surface every 10 ft.	
	Rooflines--rooflines shall be horizontally offset every 20 ft. and/or incorporate design features such as gables, decorative cornices, etc.	
Open Space	Private Open Space: 100 s.f. per dwelling unit; Common Open Space: 100 s.f. per dwelling unit	
	Private and common open space shall be provided for each unit. Only common space may be provided if increased to 300 s.f. per dwelling unit. Private open space may be provided as private yards, balconies, porches or ground level or rooftop patios. Common open space may be provided as courtyards, plazas, balconies, ground level or rooftop patios. Walkways, corridors or paseos may not be included as open space.	
Parking	In compliance with Chapter 21.22, Off-Street Parking.	
Residential Storage	Each residential unit shall provide a minimum of 200 s.f. of secured storage space. Storage space may be incorporated into dwelling unit or provided in parking area.	
Trash Enclosure	Trash enclosures shall be located on the site away from the residential units to the extent possible, or within an interior trash room, to reduce exposure of residents to noise and odors.	
Laundry Facilities	Laundry facilities including 1 washer and 1 dryer per 6 dwelling units, or portion thereof, shall be provided onsite.	
Sign Program	For projects with more than one commercial space, a sign program shall be submitted and approved when the mixed-use project is considered by the planning commission (program does not need to include sign copy unless desired).	

(1) Exceptions to setbacks may be granted by the planning commission if the commission makes specific findings for exceptions (Sec. 21.18C.080)

(Ord. 885 N.S. (Exh. B), 2004)

multi-level foundation systems, post and beam construction, etc. (Ord. 885 N.S. (Exh. B), 2004)

21.18C.070 Exceptions to site development standards.

An exception to application of the setback requirements may be approved by the planning commission if the commission finds and determines that the proposed project will:

- A. Be compatible with the surrounding development pattern;
- B. Enhance the character of the surrounding neighborhood by helping meet the purpose and intent of the mixed-use regulations;
- C. Not result in negative impacts to adjacent properties; and
- D. Result in a more well designed project. (Ord. 885 N.S. (Exh. B), 2004)

[<< previous](#) | [next >>](#)

A & T ARBORISTS

P.O. BOX 1311 TEMPLETON, CA 93465 (805) 925-1311

Tree Preservation Plan

For

**Bill and Brenda Ostrander
721-731 Pine Street**

Paso Robles

DEC 22 2006

Planning Division

**Prepared by A & T Arborists
and Vegetation Management**

Chip Tamagni

Certified Arborist #WE 6436-A



Steven Alvarez

Certified Arborist #WE 511-A

Tract # _____

PD # _____

Building Permit # _____

Project Description: This project involves the demolition of several small rental units and the construction of nine new units. There are two mature valley oaks (*Quercus lobata*) located in the northwest corner of the property. Both trees appear to be healthy and relatively free of major cavities. Both trees are in need of some crown thinning and tip weight reduction. Two of the existing units are located within the critical root zones and they will be removed. Two of new units (#8 and #9) require over-excavation in each tree's critical root zone by approximately 10%. Asphalt parking spots will be utilized within the critical root zone rather than pavers. The arborists prefer pavers in thoroughfares however in parking spaces, pavers provide a direct conduit for oil/antifreeze spills. Pavers will be utilized in the pedestrian access labeled 6 on the plans. The gray areas labeled 7 on the plans are private yards. All utilities shall be routed through the southwest portion of the project and travel through the southwest parking lot to the units. Therefore no utility trenching will be required within the critical root zone.

Specific Mitigations Pertaining to the Project: Valley oak trees tend to respond favorably to flatwork work as evidenced by dozens of local situations where asphalt is placed in portions of the critical root zone. The parking spaces west of units #8 and #9 within the critical root zones shall be asphalt. The pedestrian walkway shall be with pavers as no vehicles will be parking there. The concrete walls labeled 16 on the plans shall not be concrete that would require a footing. Changes shall be made to a pier/post configuration that will be much less obtrusive to the root zone. All landscaping areas designated as 4 on the plans shall be designed with drought tolerant landscaping. The over-excavating for all buildings within the critical root zones shall be monitored for potential root pruning. The trees shall be trimmed prior to any grading within the critical root zone. The two valley oaks shall have 2x4s wired to their trunks prior to the building demolitions to prevent tractor damage during that time. Once the demolition is complete, the fencing shall be installed as shown on the plans. The fencing will have to be eliminated just prior to the parking lot development and garden fence/wall construction.

The term "critical root zone" or CRZ is an imaginary circle around each tree. The radius of this circle (in feet) is equal to the diameter (in inches) of the tree. For example, a 10 inch diameter tree has a critical root zone with a ten foot radius from the tree. Working within the CRZ usually requires mitigations and/or monitoring by a certified arborist.

All trees potentially impacted by this project are numbered and identified on both the grading plan and the spreadsheet. Trees are numbered on the grading plans and in the field with an aluminum tag. Tree protection fencing is shown on the grading plan. In the field oak trees to be saved have yellow tape and trees to be removed have red tape attached to the tag (none for this project). Both critical root zones and drip lines are outlined on the plans.

If pruning is necessary for building, road or driveway clearance, removal of limbs larger than 6 inches in diameter will require a city approved permit along with a deposit paid in advance (to the City of Paso Robles). The city will send out a representative to approve or deny the permit. Only 25% of the live crown may be removed.

Tree Rating System

A rating system of 1-10 was used for visually establishing the general health and condition of each tree on the spreadsheet. The rating system is defined as follows:

<u>Rating</u>	<u>Condition</u>
0	Deceased
1	Evidence of massive past failures, extreme disease and is in severe decline.
2	May be saved with attention to class 4 pruning, insect/pest eradication and future monitoring.
3	Some past failures, some pests or structural defects that may be mitigated by class IV pruning.
4	May have had minor past failures, excessive deadwood or minor structural defects that can be mitigated with pruning.
5	Relatively healthy tree with little visual, structural and/or pest defects and problems.
6	Healthy tree that probably can be left in its natural state.
7-9	Has had proper arboricultural pruning and attention or have no apparent structural defects.
10	Specimen tree with perfect shape, structure and foliage in a protected setting (i.e. park, arboretum).

Aesthetic quality on the spreadsheet is defined as follows:

- **poor** - tree has little visual quality either due to severe suppression from other trees, past pruning practices, location or sparse foliage
- **fair** - visual quality has been jeopardized by utility pruning/obstructions or partial suppression and overall symmetry is average
- **good** - tree has good structure and symmetry either naturally or from prior pruning events and is located in an area that benefits from the trees position
- **excellent** - tree has great structure, symmetry and foliage and is located in a premier location. Tree is not over mature.

The following mitigation measures/methods must be fully understood and followed by anyone working within the critical root zone of any native tree. Any necessary clarification will be provided by us (the arborists) upon request.

1. It is the responsibility of the **owner or project manager** to provide a copy of this tree protection plan to any and all contractors and subcontractors that work within the critical root zone of any native tree and confirm they are trained in maintaining fencing, protecting root zones and conforming to all tree protection goals. It is highly recommended that each contractor sign and acknowledge this tree protection plan.
2. Any future changes (within the critical root zone) in the project will need Project Arborist review and implementation of potential mitigation measures before any said changes can proceed.

3. Fencing: The proposed fencing shall be shown in orange ink on the grading plan. It must be a minimum of 4' high chain link, snow or safety fence staked (with t posts 8 feet on center) at the edge of the critical root zone or line of encroachment for each tree or group of trees. The fence shall be up before any construction or earth moving begins. The owner shall be responsible for maintaining an erect fence throughout the construction period. The arborist(s), upon notification, will inspect the fence placement once it is erected. After this time, fencing shall not be moved without arborist inspection/approval. If the orange plastic fencing is used, a minimum of four zip ties shall be used on each stake to secure the fence. All efforts shall be made to maximize the distance from each saved tree. Weather proof signs shall be permanently posted on the fences every 50 feet, with the following information:

Tree Protection Zone
No personnel, equipment,
materials, and vehicles are
allowed
Do not remove or re-position
this fence without calling:
A & T Arborists
434-0131

4. Soil Aeration Methods: Soils within the critical root zone that have been compacted by heavy equipment and/or construction activities must be returned to their original state before all work is completed. Methods include water jetting, adding organic matter, and boring small holes with an auger (18" deep, 2-3' apart with a 2-4" auger) and the application of moderate amounts of nitrogen fertilizer. The arborist(s) shall advise.

5. Chip Mulch: All areas within the critical root zone of the trees that can be fenced shall receive a 4-6" layer of chip mulch to retain moisture, soil structure and reduce the effects of soil compaction.

6. Trenching Within Critical Root Rone: All trenching within the critical root zone of native trees shall be **hand dug**. All major roots shall be avoided whenever possible. All exposed roots larger than 1" in diameter shall be clean cut with sharp pruning tools and not left ragged. A **Mandatory** meeting between the arborists and grading contractor(s) must take place prior to work start.

7. Grading Within The Critical Root Zone: Grading should not encroach within the critical root zone unless authorized. Grading should not disrupt the normal drainage pattern around the trees. Fills should not create a ponding condition and excavations should not leave the tree on a rapidly draining mound.

8. Exposed Roots: Any exposed roots shall be re-covered the same day they were exposed. If they cannot, they must be covered with burlap or another suitable material and wetted down 2x per day until re-buried.

9. Paving Within The Critical Root Zone: Pervious surfacing is preferred within the critical root zone of any native tree for non-parking areas. If pavers are required, the areas are outlined on the grading plans. Pavers must be interlocking with a

17. Utility Placement: All utilities, sewer and storm drains shall be placed down the roads and driveways and outside of the critical root zones. The arborist shall supervise trenching within the critical root zone. **All trenches in these areas shall be exposed by air spade or hand dug with utilities routed under/over** roots larger than 3 inches in diameter with full time arborist monitoring.


18. Fertilization and Cultural Practices: As the project moves toward completion, the arborist(s) may suggest either fertilization and/or mycorrhiza applications that will benefit tree health. Mycorrhiza offers several benefits to the host plant, including faster growth, improved nutrition, greater drought resistance, and protection from pathogens.

The included spreadsheet includes trees listed by number, species and multiple stems if applicable, scientific name, diameter and breast height (4.5'), condition (scale from poor to excellent), status (avoided, impacted, removed, exempt), percent of critical root zone impacted, mitigation required (fencing, root pruning, monitoring), construction impact (trenching, grading), recommended pruning, aesthetic value and individual tree notes along with canopy spread.

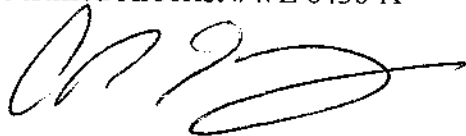
If **all** the above mitigation measures are followed, we feel there will be no long-term significant impacts to the native trees.

Please let us know if we can be of any future assistance to you for this project.

Steven G. Alvarez
Certified Arborist #WC 0511



Chip Tamagni
Certified Arborist #WE 6436-A



MEMORANDUM

TO: Susan DeCarli
FROM: John Falkenstien
SUBJECT: PD 06-020, Ostrander
721-731 Pine Street
DATE: February 13, 2006

The subject property fronts on Pine Street. Pine Street is classified as a local street in the Circulation Element of the General Plan.

There is a 12-inch water main in Pine Street available to serve the project.

Sewer is available from a 6-inch main in the alley west of Pine Street. The applicant will need to verify that the condition of the 6-inch sewer line is adequate to serve the project.

Overhead utility lines exist adjacent to the project on the alley. These lines will need to be relocated underground.

Recommended Site Specific Conditions

1. Prior to occupancy, the applicant shall reconstruct curb, gutter and sidewalk on Pine Street in accordance with City West Side Standard A-12 adjacent to the frontage of the project. All improvements shall be in accordance with plans approved by the City Engineer and parkway landscape plans approved by the Planning Division.
2. Prior to sewer connection, the applicant shall verify that the existing sewer line in the alley is adequate to serve the project.
3. Prior to occupancy, the applicant shall relocate all overhead utilities adjacent to the project on the alley, underground.
4. Prior to occupancy, decorative street lights shall be placed on Pine Street in accordance with plans approved by the City Engineer and specifications provided by PG and E.

RESOLUTION NO.

**A RESOLUTION OF
THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
APPROVING PLANNED DEVELOPMENT 06-020 AND VESTING TENTATIVE TRACT MAP 2904
FOR PROPERTY LOCATED AT 721 – 731 PINE STREET
APNs : 009-203-011, -012, AND -019, APPLICANT – WILLIAM OSTRANDER**

WHEREAS, PD 06-020 and VTTM 2904 has been filed by William Ostrander; and

WHEREAS, PD 06-020 and VTTM 2904 is an application to develop a mixed-use “live/work” project with up to 7500 s.f. of commercial space and 9 residences, where each live/work unit includes a ground floor commercial space and a residence located above it; and

WHEREAS, the project is consistent with the General Plan land use designation Community Commercial/Mixed Use Overlay (CC/M-U) and the Zoning district which is Highway Commercial-Planned Development/Mixed Use Overlay (C2-PD/M-U); and

WHEREAS, a Joint Use parking agreement to share the on-site parking spaces between daytime (commercial) uses and evening (residential) uses is appropriate for this project and will not result in negative parking impacts in the surrounding vicinity; and

WHEREAS, the proposed project is consistent with and supports implementation of the *2006 Paso Robles Economic Strategy* since it proposes an efficient use of land and infrastructure, and is proposed as a mixed use, compact, pedestrian oriented development near transit facilities and the downtown; and

WHEREAS, the site plan and architectural design of the proposed project is compatible with the Downtown Historical Design Guidelines, District B; and

WHEREAS, the Planning Commission held a duly noticed public hearing on February 13, 2007 on this project to accept public testimony on the Planned Development application PD 06-020 and TTM 2904; and

WHEREAS, pursuant to the Statutes and Guidelines of the California Environmental Quality Act (CEQA), this project is project is exempt from environmental review, per Class 32, Infill development; and

WHEREAS, based upon the facts and analysis presented in the staff report and the attachments thereto, the public testimony received, and subject to the Conditions of Approval listed below, the Planning Commission makes the following findings:

1. The design and intensity/density of the proposed Planned Development and Vesting Tentative Tract Map is consistent C2-PD/MU zoning district and the adopted codes, policies, standards and plans of the City, specifically the Zoning Ordinance and General Plan, and the Commission finds that an exception to the second and third story setbacks (which require the 2nd and 3rd story be set back five feet from the first floor) will not negatively affect surrounding properties and the architectural design is enhanced by not recessing the upper stories of the proposed building; and
2. The proposed development plan will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the residents and or businesses in the surrounding area, or be injurious or detrimental to property and improvements in the neighborhood or to the general

welfare of the City since the project will improve the existing quality of development on the site and neighborhood; and

3. The proposed development plan accommodates the aesthetic quality of the City as a whole, since the proposal provides for a well designed building with high quality materials, and complies with the Mixed Use and Downtown Design Guidelines; and
4. The proposed development plan is compatible with, and is not detrimental to, surrounding land uses and improvements, provides an appropriate visual appearance, and contributes to the mitigation of any environmental and social impacts, and incorporates “green” building site and building design technologies; and
5. The proposed development plan is compatible with existing scenic and environmental resources such as hillsides, or impact the two oak trees on site, vistas, etc.; and
6. The proposed tentative parcel map is consistent with the adopted General Plan for the City of El Paso de Robles; and
7. The design of condominium units, streets, open space, drainage, sewers, water and other improvements are consistent with the General Plan and Zoning Ordinance; and
8. The site is physically suitable for the type of development proposed; and
9. The site is physically suitable for the proposed density of development; and
10. The design of the land division is not likely to cause substantial environmental damage or substantially and unavoidably injure fish or wildlife or their habitat; and
11. The land division proposed is not likely to cause serious public health problems; and
12. The design of the land division will not conflict with easements acquired by the public at large, for access through or use of, property within the proposed subdivision; and
13. The fulfillment of the requirements listed in the Conditions below are a necessary prerequisite to the orderly development of the site and surrounding area.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby approve Planned Development 06-020 and Vesting Tentative Tract Map 2904, subject to the following conditions:

STANDARD CONDITIONS:

1. This project shall comply with the checked standard Conditions of Approval, attached hereto as Exhibit “A” and incorporated herein by reference.

SITE SPECIFIC CONDITIONS:

NOTE: In the event of conflict or duplication between standard and site-specific conditions, the site-specific condition shall supersede the standard condition.

2. The project shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

EXHIBIT	DESCRIPTION
A	Standard Conditions of Approval
B	Site Plan
C	Exterior Elevations

3. This PD 06-020 and VTTM 2904 is an application to develop a mixed-use “live/work” project with up to 7500 s.f. commercial space and 9 residential condominium units as permitted in the Zoning Ordinance on the project site.
4. The project shall be designed and constructed to be in substantial conformance with the site plan and elevations approved with this resolution.
5. Approval of this project is valid for a period of two (2) years from date of approval. Unless permits have been issued and site work has begun, the approval of PD 06-020 and VTPM 2904 shall expire on February 13, 2009. The Planning Commission may extend this expiration date for an additional three (3) years if a time extension application has been filed with the City along with the fees before the expiration date.
6. Prior to issuance of certificates of use and occupancy, the property-owner or authorized agent is required to pay the City’s Development Impact Fees.
7. No underground or aboveground storage of hazardous materials shall be allowed on-site without first obtaining City approval.
8. No storage of trash cans or recycling bins shall be permitted within the public right-of-way.
9. Temporary construction noise levels in excess of 60 decibels shall be restricted to the daylight hours of 7am to 6pm. Noise levels shall be measured or monitored from site boundaries or the nearest adjoining residential use to determine compliance.
10. Use and operation of the project and its appurtenances shall be conducted in compliance with the City’s General Performance Standards for all uses (Section 21.21.040 of Chapter 21.21 Performance Standards of the City’s Zoning Ordinance).
11. Prior to occupancy, the applicant shall relocate overhead utility lines adjacent to the property underground (with the exception of 70kv transmission lines).
12. Prior to grading permit, the applicant shall provide plans for the treatment of storm water leaving the site.
13. In compliance with the City Zoning Ordinance, the parking requirement for this project is 33 parking spaces. The applicant shall provide 22 parking spaces onsite, and shall be approved for a Joint Use parking agreement for the remaining 11 parking spaces by the Planning Commission.
14. The applicant shall take the steps necessary to annex to or form a City Community Facilities District (CFD) in order to provide funding for City services for each new parcel or dwelling unit in the proposed development. The agreement to form or annex to a CFD shall be in a manner to be approved by the City

Attorney. Participation in a City CFD for services is intended to fully mitigate the incremental impact of new residential development on City services.

In order to insure that there is adequate and consistent funding to provide for City services in a manner reflective of adopted General Plan standards, it is necessary to provide a “fall back” funding mechanism in case, for any reason, it is not possible to annex to or form a CFD that would fully mitigate the incremental fiscal impacts on City services. A fall back funding mechanism is also needed if a CFD is formed and for whatever reason the CFD is invalidated or otherwise is incapable of meeting its intended purpose of fully mitigating the impacts of new residential development on City services.

In order to insure that there is an alternative form of fiscal mitigation, prior to final approval of any project creating additional residential lots or dwelling units, the property owner shall agree, in a manner subject to approval by the City Attorney, to provide for alternative means of fiscal mitigation. The alternative means of fiscal mitigation could include, but would not be limited to, equivalent services being provided by a Homeowners Association, a perpetual endowment to cover the incremental costs of City services (including a CPI adjustment), a City road maintenance assessment district, or a combination of such tools to insure full fiscal mitigation of impacts to City services.

16. The project shall be in compliance the following recommendations of the San Luis Obispo County Air Pollution Control District so as to minimize creation of fugitive dust and other emission resulting from use of construction equipment as follows:

CONSTRUCTION PHASE MITIGATION:

Dust Control Measures

Construction activities can generate fugitive dust, which could be a nuisance to local residents and businesses in close proximity to the proposed construction site. Dust complaints could result in a violation of the District's 402 "Nuisance" Rule. Due to this project's proximity to neighboring commercial uses the APCD conditions this project to comply with all applicable air quality regulations pertaining to the control of fugitive dust (PM10) as contained in section 6.5 of the Air Quality Handbook. **All site grading and demolition plans noted shall list the following regulations:**

- a. Reduce the amount of the disturbed area where possible.
- b. Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (nonpotable) water should be used whenever possible.
- c. All dirt stock pile areas should be sprayed daily as needed.
- d. Permanent dust control measures identified in the approved project revegetation and landscape plans should be implemented as soon as possible following completion of any soil disturbing activities.
- e. Exposed ground areas that are planned to be reworked at dates greater than one month after initial grading should be sown with a fast germinating native grass seed and watered until vegetation is established.
- f. All disturbed soil areas not subject to revegetation should be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the APCD.
- g. All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible. In addition, building pads should be laid as soon as possible after grading unless seeding or soil binders are used.
- h. Vehicle speed for all construction vehicles shall not exceed 15 mph on any unpaved surface at the construction site.
- i. All trucks hauling dirt, sand, soil, or other loose materials are to be covered or should maintain at least two feet of freeboard (minimum vertical distance between top of load and top of trailer) in accordance with CVC Section 23114.
- j. Install wheel washers where vehicles enter and exit unpaved roads onto streets, or wash off trucks and equipment leaving the site.

- k. Sweep streets at the end of each day if visible soil material is carried onto adjacent paved roads. Water sweepers with reclaimed water should be used where feasible.

All PM10 mitigation measures required should be shown on grading and building plans. In addition, the contractor or builder should designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust offsite. Their duties shall include holidays and weekend periods when work may not be in progress. **The name and telephone number of such persons shall be provided to the APCD prior to land use clearance for map recordation and finished grading of the area.**
Naturally Occurring Asbestos

The project site is located in a candidate area for Naturally Occurring Asbestos (NOA), which has been identified as a toxic air contaminant by the California Air Resources Board (ARB). Under the ARB Air Toxics Control Measure (ATCM) for Construction, Grading, Quarrying, and Surface Mining Operations, **prior to any grading activities at the site, the project proponent shall ensure that a geologic evaluation is conducted to determine if NOA is present within the area that will be disturbed.** If NOA is not present, an exemption request must be filed with the District (see Attachment 1). If NOA is found at the site the applicant must comply with all requirements outlined in the Asbestos ATCM. This may include development of an Asbestos Dust Mitigation Plan and an Asbestos Health and Safety Program for approval by the APCD. Please refer to the APCD web page at <http://www.slocleanair.org/business/asbestos.asp> for more information or contact Karen Brooks of our Enforcement Division at 781-5912.

Permits

Based on the information provided, we are unsure of the types of equipment that may be present at the site. Portable equipment used during construction activities may require California statewide portable equipment registration (issued by the California Air Resources Board) or a District permit. Operational sources, such as back up generators, may also require APCD permits. **To minimize potential delays, prior to the start of the project, please contact David Dixon of the District's Engineering Division at (805) 781-5912 for specific information regarding permitting requirements.**

OPERATIONAL PHASE MITIGATION:

The APCD staff considered the operational impact of this commercial development by running the URBEMIS 2002 computer model, a tool for estimating vehicle travel, fuel use and the resulting emissions related to this project's land uses. This indicated that operational phase impacts will not likely be more than the APCD's CEQA Tier I significance threshold value of 10 lbs/day for nitrogen oxides (NOx), Reactive Organic Gases (ROG) and Particulate Matter (PM10). However, the following measures are recommended for this project.

Standard Mitigation Measures (Include all standard mitigation measures below)

- Provide on-site bicycle parking. One bicycle parking space for every 10 car parking spaces is considered appropriate.
- Increase the building energy efficiency rating by 10% above what is required by Title 24 requirements. This can be accomplished in a number of ways (increasing attic, wall, or floor insulation, installing double pane windows, using efficient interior lighting, etc.).

Energy Efficiency Measures

- Use roof material with a solar reflectance value meeting the EPA/DOE Energy Star® rating to reduce summer cooling needs.
- Install door sweeps or weather stripping if more energy efficient doors and windows are not available.

OPERATIONAL PERMIT REQUIREMENTS & MIXED USE INCOMPATIBILITY:

Based on the information provided, we are unsure of the types of equipment that may be present at the site. Operational source may require APCD permits. The following list is provided as a guide to equipment and operations that may have permitting requirements, but should not be viewed as exclusive. For a more detailed listing, refer to page A-5 in the District’s CEQA Handbook.

- Portable generators and equipment with engines that are 50 hp or greater;
- Electrical generation plants or the use of standby generator;
- Food and beverage preparation (primarily coffee roasters);
- Dry cleaning;
- Boilers; and
- IC Engines.

As individual project move forward it is important to keep in mind that some uses may not be compatible and could result in potential nuisance problems (i.e. odors and/or dust). The following uses could be problematic if residential quarters are included in the same building and could require an APCD permit.

- Nail Salons;
- Dry-cleaners;
- Coffee roasters;
- Furniture refurbishing/refinishing; and
- Any type of spray paint operation.

17. All lighting shall be shielded and downcast to reduce light and glare spillage onto adjacent properties in compliance with City codes.
18. All pervious concrete work shall be in accordance with specifications approved by the City Engineer.
19. The applicant shall establish a Home Owners Association and record CC&Rs with TTM 2904 establishing site maintenance requirements for all common site facilities including building exteriors, lighting, trash enclosure, parking areas, common open space and landscaping, irrigation and other site amenities.
20. The applicant shall record a permanent reciprocal access and parking agreement with the Final Map in favor of all 9 condominium units.
21. The applicant shall submit a sign program that is in compliance with provisions in the sign ordinance and provides a unified sign design program that compliments and is coordinated with the architectural design and materials used in the buildings.
22. Although the project has been modified to reduce potential impacts to the two oak trees on the site so that no structures are proposed within the Critical Root Zone of the oak trees (only parking spaces), the applicant shall submit a revised Arborist Report prior to issuance of any grading or building permits that reflects the revised site plan. All other general oak tree protection measures recommended by the project Arborist shall apply, as follows:
 - It is the responsibility of the **owner or project manager** to provide a copy of this tree protection plan to any and all contractors and subcontractors that work within the critical root zone of any native tree and confirm they are trained in maintaining fencing, protecting root zones and conforming to all tree protection goals. It is

highly recommended that each contractor sign and acknowledge this tree protection plan.

- Any future changes (within the critical root zone) in the project will need Project Arborist review and implementation of potential mitigation measures before any said changes can proceed.
- **Fencing:** The proposed fencing shall be shown in orange ink on the grading plan. It must be a minimum of 4' high chain link, snow or safety fence staked (with t posts 8 feet on center) at the edge of the critical root zone or line of encroachment for each tree or group of trees. The fence shall be up before any construction or earth moving begins. The owner shall be responsible for maintaining an erect fence throughout the construction period. The arborist(s), upon notification, will inspect the fence placement once it is erected. After this time, fencing shall not be moved without arborist inspection/approval. If the orange plastic fencing is used, a minimum of four zip ties shall be used on each stake to secure the fence. All efforts shall be made to maximize the distance from each saved tree. Weather proof signs shall be permanently posted on the fences every 50 feet, with the following information:

<p>Tree Protection Zone No personnel, equipment, materials, and vehicles are allowed Do not remove or re-position this fence without calling: A & T Arborists 434-0131</p>

- **Soil Aeration Methods:** Soils within the critical root zone that have been compacted by heavy equipment and/or construction activities must be returned to their original state before all work is completed. Methods include water jetting, adding organic matter, and boring small holes with an auger (18" deep, 2-3' apart with a 2-4" auger) and the application of moderate amounts of nitrogen fertilizer. The arborist(s) shall advise.
- **Chip Mulch:** All areas within the critical root zone of the trees that can be fenced shall receive a 4-6" layer of chip mulch to retain moisture, soil structure and reduce the effects of soil compaction.
- **Trenching Within Critical Root Rone:** All trenching within the critical root zone of native trees shall be **hand dug**. All major roots shall be avoided whenever possible. All exposed roots larger than 1" in diameter shall be clean cut with sharp pruning tools and not left ragged. A **Mandatory** meeting between the arborists and grading contractor(s) must take place prior to work start.
- **Grading Within The Critical Root Zone:** Grading should not encroach within the critical root zone unless authorized. Grading should not disrupt the normal drainage

pattern around the trees. Fills should not create a ponding condition and excavations should not leave the tree on a rapidly draining mound.

- **Exposed Roots:** Any exposed roots shall be re-covered the same day they were exposed. If they cannot, they must be covered with burlap or another suitable material and wetted down 2x per day until re-buried.
- **Equipment Operation:** Vehicles and all heavy equipment shall not be driven under the trees, as this will contribute to soil compaction. Also there is to be no parking of equipment or personal vehicles in these areas. All areas behind fencing are off limits unless pre-approved by the arborist.
- **Existing Surfaces:** The existing ground surface within the critical root zone of all oak trees shall not be cut, filled, compacted or pared, unless shown on the grading plans **and** approved by the arborist.
- **Construction Materials and Waste:** No liquid or solid construction waste shall be dumped on the ground within the critical root zone of any native tree. The critical root zone areas are not for storage of materials either.
- **Arborist Monitoring:** An arborist shall be present for selected activities (trees identified on spreadsheet and items bulleted below). The monitoring does not necessarily have to be continuous but observational at times during these activities. It is the responsibility of the **owner(s) or their designee** to inform us prior to these events so we can make arrangements to be present. All monitoring will be documented on the field report form which will be forwarded to the project manager and the City of Paso Robles Planning Department.
 - • pre-construction fence placement inspection
 - • all grading and trenching identified on the spreadsheet
 - • any other encroachment the arborist feels necessary
- **Pre-Construction Meeting:** An on-site pre-construction meeting with the Arborist(s), Owner(s), Planning Staff, and the earth moving team shall be required for this project. Prior to final occupancy, a letter from the arborist(s) shall be required verifying the health/condition of all impacted trees and providing any recommendations for any additional mitigation. The letter shall verify that the arborist(s) were on site for all grading and/or trenching activity that encroached into the critical root zone of the selected native trees, and that all work done in these areas was completed to the standards set forth above.
- **Pruning :** Class 1 pruning has emphasis on aesthetics, removal of dead, dying, decaying weak branches and selective thinning to lesson wind resistance. Class 2 pruning is recommended where aesthetic conditions are secondary to structural integrity and tree health concerns. It shall consist of removal of dead, dying,

decaying, interfering, obstructing and weak branches as well as selective thinning to lesson wind resistance. Class 4 pruning includes-Crown reduction pruning shall consist of reduction of tops, sides or individual limbs. A trained arborist shall perform all pruning. No pruning shall take more than 25% of the live crown of any native tree. Any trees that may need pruning for road/home clearance shall be pruned **prior** to any grading activities to avoid any branch tearing.

- **Landscape:** All landscape within the critical root zone shall consist of drought tolerant or native varieties. Lawns shall be avoided. All irrigation trenching shall be routed around critical root zones, otherwise above ground drip-irrigation shall be used. It is the owner's responsibility to notify the landscape contractor regarding this mitigation. For this site it is strongly recommended that drought tolerant native landscape is used with the approval of the arborist. This includes all city sidewalk/greenbelt areas.
- **Utility Placement:** All utilities, sewer and storm drains shall be placed down the roads and driveways and when possible outside of the critical root zones. The arborist shall supervise trenching within the critical root zone. **All trenches in these areas shall be exposed by air spade or hand dug with utilities routed under/over roots larger than 3 inches in diameter.**
- **Fertilization and Cultural Practices:** As the project moves toward completion, the arborist(s) may suggest either fertilization and/or mycorrhiza applications that will benefit tree health. Mycorrhiza offers several benefits to the host plant, including faster growth, improved nutrition, greater drought resistance, and protection from pathogens.

ENGINEERING CONDITIONS

23. Prior to occupancy, the applicant shall reconstruct curb, gutter and sidewalk on Pine Street in accordance with City West Side Standard A-12 adjacent to the frontage of the project. All improvements shall be in accordance with plans approved by the City Engineer and parkway landscape plans approved by the Planning Division.
24. Prior to sewer connection, the applicant shall verify that the existing sewer line in the alley is adequate to serve the project.
25. Prior to occupancy, the applicant shall relocate all overhead utilities adjacent to the project on the alley, underground.
26. Prior to occupancy, decorative street lights shall be placed on Pine Street in accordance with plans approved by the City Engineer and specifications provided by PG and E.

EMERGENCY SERVICES CONDITIONS

27. Building permits shall not be issued until the water system, including hydrants, has been tested and accepted and a based access road installed sufficient to support the City's fire apparatus (HS-20 Truck Loading). The access road shall be kept clear to a minimum of 24 feet at all times and shall be extended to each lot and shall be maintained to provide all weather driving conditions.

28. No building shall be occupied until all improvements are completed and accepted by the City for maintenance.
29. Provisions shall be made to update Emergency Service's Run Book
30. Provide fire sprinkler systems for all buildings greater than five thousand (5,000) square feet.
31. Prior to the start of construction, documentation shall be submitted to Emergency Services showing that required fire flows can be provided to meet all project demands.

PASSED AND ADOPTED THIS 13th day of February, 2007 by the following Roll Call Vote:

AYES: Commissioners –
NOES: Commissioners –
ABSENT: Commissioners –
ABSTAIN: Commissioners –

CHAIRMAN HOLSTINE

ATTEST:

RON WHISENAND, PLANNING COMMISSION SECRETARY

EXHIBIT A OF RESOLUTION

**CITY OF EL PASO DE ROBLES STANDARD DEVELOPMENT CONDITIONS
FOR PLANNED DEVELOPMENTS / CONDITIONAL USE PERMITS**

PROJECT #: PD 06-020

APPROVING BODY: PLANNING COMMISSION

DATE OF APPROVAL: FEBRUARY 13, 2007

APPLICANT: OSTRANDER

LOCATION: 721-731 PINE STREET

The following conditions that have been checked are standard conditions of approval for the above referenced project. The checked conditions shall be complied with in their entirety before the project can be finalized, unless otherwise specifically indicated. In addition, there may be site specific conditions of approval that apply to this project in the resolution.

COMMUNITY DEVELOPMENT DEPARTMENT - The applicant shall contact the Community Development Department, (805) 237-3970, for compliance with the following conditions:

A. GENERAL CONDITIONS:

- 1. This project approval shall expire on February 13, 2009 (See Planned Development Approval Resolution) unless a time extension request is filed with the Community Development Department prior to expiration.
- 2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 3. Prior to occupancy, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
- 4. Any site specific condition imposed by the Planning Commission in approving this project may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No such modification shall be made unless the Commission finds that such modification is necessary to protect the

(Adopted by Planning Commission Resolution 94-038)

public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.

- 5. This project is subject to the California Environmental Quality Act (CEQA) which requires the applicant submit a \$25.00 filing fee for the Notice of Determination payable to "County of San Luis Obispo". The fee should be submitted to the Community Development Department within 24 hours of project approval which is then forwarded to the San Luis Obispo County Clerk. Please note that the project may be subject to court challenge unless the required fee is paid.
- 6. The site shall be kept in a neat manner at all times and the landscaping shall be continuously maintained in a healthy and thriving condition.
- 7. All signs shall be subject to review and approval as required by Municipal Code Section 21.19 and shall require a separate application and approval prior to installation of any sign.
- 8. All outdoor storage shall be screened from public view by landscaping and walls or fences per Section 21.21.110 of the Municipal Code.
- 9. All trash enclosures shall be constructed of decorative masonry block compatible with the main buildings. Gates shall be view obscuring and constructed of durable materials such as painted metal or chain link with plastic slatting.
- 10. All existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be screened from public view through the use of decorative walls and/or landscaping subject to approval by the Community Development Director or his designee. Details shall be included in the building plans.
- 11. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be architecturally integrated with the building design and constructed of compatible materials to the satisfaction of the Community Development Director or his designee. Details shall be included in the building plans.
- 12. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties. The style, location and height of the lighting fixtures shall be submitted with the building plans and shall be subject to approval by the Community Development Director or his designee.

(Adopted by Planning Commission Resolution 94-038)

- 13. All existing and/or new landscaping shall be installed with automatic irrigation systems.
- 14. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 15. The following areas shall be placed in the Landscape and Lighting District:

The developer shall install all improvements and landscape areas. City acceptance on behalf of the Landscape and Lighting District shall be subject to the approval of the Public Works Street Department (237-3864).

- 16. All parking lot landscape planters shall have a minimum outside dimension of six feet and shall be separated from parking and driving areas by a six inch high solid concrete curb.
- 17. The following areas shall be permanently maintained by the property owner, Homeowners' Association, or other means acceptable to the City:

- 18. It is the property owner's responsibility to insure that all construction of private property improvements occur on private property. It is the owner's responsibility to identify the property lines and insure compliance by the owner's agents.

B. THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF BUILDING PERMITS:

- 1. Two sets of the revised Planning Commission approved plans incorporating all Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department prior to the issuance of building permits.

- 2. Prior to the issuance of building permits, the
 - Development Review Committee shall approve the following:
 - Planning Division Staff shall approve the following:
 - a. A detailed site plan indicating the location of all structures, parking layout, outdoor storage areas, walls, fences and trash enclosures;
 - b. A detailed landscape plan;
 - c. Detailed building elevations of all structures indicating materials, colors, and architectural treatments;
 - d. Other: See PD 00-023 Resolution for specific DRC review requirements.
- 3. The applicant shall meet with the City's Crime Prevention Officer prior to the issuance of building permits for recommendations on security measures to be incorporated into the design of the structures to be constructed. The applicant is encouraged to contact the Police Department at (805) 237-6464 prior to plan check submittal.

C. THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO OCCUPANCY:

- 1. Occupancy of the facility shall not commence until such time as all Uniform Building Code and Uniform Fire Code regulations have been complied with. Prior to occupancy, plans shall be submitted to the Paso Robles Fire Department and the Building Division to show compliance. The building shall be inspected by the appropriate department prior to occupancy.
- 2. All public or private manufactured slopes located adjacent to public right-of-ways on property in excess of six (6) feet in vertical height and of 2.5:1 or greater slope shall be irrigated and landscaped for erosion control and to soften their appearance as follows: one 15-gallon tree per each 250 square feet of slope area, one 1-gallon or larger size shrub per each 100 square feet of slope area, and appropriate ground cover. Trees and shrubs shall be staggered in clusters to soften and vary the slope plane. Slope planting shall include a permanent irrigation system be installed by the developer prior to occupancy. In lieu of the above planting ratio, the applicant may submit a slope planting plan by a licensed landscape architect or contractor providing adequate landscaping, erosion control and slope retention measures; the slope planting plan is subject to approval by the Development Review Committee. Hydroseeding may be considered on lots of 20,000 square feet or greater.

(Adopted by Planning Commission Resolution 94-038)

PUBLIC WORKS DEPARTMENT - The applicant shall contact the Engineering Division, (805) 237-3860, for compliance with the following conditions:

APPLICANT: OSTRANDER PREPARED BY: JF
REPRESENTATIVE: _____ CHECKED BY: _____
PROJECT: PD 06-020 TO PLANNING: _____

All conditions marked are applicable to the above referenced project for the phase indicated.

D. PRIOR TO ANY PLAN CHECK:

- 1. The applicant shall enter into an Engineering Plan Check and Inspection Services Agreement with the City.

E. PRIOR TO ISSUANCE OF A GRADING PERMIT:

- 1. Prior to approval of a grading plan, the developer shall apply through the City, to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developer's engineer shall provide the required supporting data to justify the application.
- 2. The proposed structures and grading shall not encroach into the 100-year floodway as specified in Municipal Code Chapter 21.14 "Flood Damage Prevention Regulations".
- 3. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No. 553, Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to removal.
- 4. A complete grading and drainage plan prepared by a registered civil engineer shall be included with the improvement plans. Drainage calculations shall be submitted, with provisions made for on-site detention/ retention if adequate disposal facilities are not available, as determined by the City Engineer.

- 5. A Preliminary Soils and/or Geology Report shall be prepared by a registered engineer for the property to determine the presence of expansive soils or other soils problems and shall make recommendations regarding grading of the proposed site.

F. PRIOR TO ANY SITE WORK:

- 1. All off-site public improvement plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to the Public Works Department Standards and Specifications.
- 2. The applicant shall submit a composite utility plan signed as approved by a representative of each public utility, together with the improvement plans. The composite utility plan shall also be signed by the Water, Fire, Wastewater, and Street Division heads.
- 3. Any grading anticipated during the rainy season (October 15 to April 15) will require the approval of a Construction Zone Drainage and Erosion Control Plan to prevent damage to adjacent property. Appropriateness of areas shall be subject to City Engineer approval.
- 4. Any construction within an existing street shall require a Traffic Control Plan. The plan shall include any necessary detours, flagging, signing, or road closures requested. Said plan shall be prepared and signed by a registered civil or traffic engineer.
- 5. Landscape and irrigation plans for the public right-of-way shall be incorporated into the improvement plans and shall require a signature of approval by the Department of Public Works, Street Superintendent and the Community Development Department.
- 6. The owner shall offer to dedicate and improve the following street(s) to the standard indicated:

<u>Pine Street</u>	<u>Westside</u>	<u>A-12</u>
Street Name	City Standard	Standard Drawing No.

- 7. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:
 - a. Public Utilities Easement;

(Adopted by Planning Commission Resolution 94-038)

- b. Water Line Easement;
- c. Sewer Facilities Easement;
- d. Landscape Easement;
- e. Storm Drain Easement.

G. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

- 1. A final soils report shall be submitted to the City prior to the final inspection and shall certify that all grading was inspected and approved, and that all work has been done in accordance with the plans, preliminary report, and Chapter 70 of the Uniform Building Code.
- 2. The applicants civil and soils engineer shall submit a certification that the rough grading work has been completed in substantial conformance to the approved plans and permit.
- 3. When retaining walls are shown on the grading plan, said walls shall be completed before approval of the rough grade, and prior to issuance of any building permits, unless waived by the Building Official and the City Engineer.
- 4. All property corners shall be staked for construction control, and shall be promptly replaced if destroyed.
- 5. Building permits shall not be issued until the water system has been completed and approved, and a based access road installed sufficient to support the City's fire trucks per Fire Department recommendation.
- 6. The developer shall annex to the City's Landscape and Lighting District for payment of the operating and maintenance costs of the following:
 - a. Street lights;
 - b. Parkway and open space landscaping;
 - c. Wall maintenance in conjunction with landscaping;
 - d. Graffiti abatement;
 - e. Maintenance of open space areas.
- 7. Prior to the issuance of a Building Permit for a building within Flood Insurance Rate Map (FIRM) - in zones A1-A30, AE, AO, AH, A, V1-V30, VE and V - the developer shall provide an Elevation Certificate in accordance with the National Flood Insurance Program. This form must be completed by a land surveyor, engineer or architect licensed in the State of California.
- 8. Prior to the issuance of a Building Permit for a building within Flood Insurance Rate

(Adopted by Planning Commission Resolution 94-038)

Map (FIRM) in zones A1-A30, AE, AO, AH, A, V1-V30, VE and V, the developer shall provide a Flood Proofing Certificate in accordance with the National Insurance Program. This form must be completed by a land surveyor, engineer or architect licensed in the State California.

H. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY:

- 1. The applicant shall pay any current and outstanding fees for Engineering Plan Checking and Construction Inspection services and any outstanding annexation fees.
- 2. No buildings shall be occupied until all public improvements are completed and approved by the City Engineer, and accepted by the City Council.
- 3. All final property corners and street monuments shall be installed before acceptance of the public improvements.
- 4. All top soil removed shall be stockpiled and evenly distributed over the slopes and lots upon completion of rough grading to support hydroseeding and landscaping. All slope areas shall be protected against erosion by hydroseeding or landscaping.
- 5. The applicant shall install all street names, traffic signs and traffic striping as directed by the City Engineer.
- 6. If the adjoining existing City street is inadequate for the traffic generated by the project, or will be severely damaged by the construction, the applicant shall remove the entire roadway and replace it with a minimum full half-width street plus a 12' wide travel lane and 8' wide graded shoulder adequate to provide for two-way traffic. (A finding of "rough proportionality" has been made in the resolution for this condition).
- 7. If the development includes a phased street construction along the project boundary for future completion by the adjacent property owner, the applicant shall provide a minimum half-width street plus a 12' wide travel lane and 4' wide graded shoulder adequate for two-way traffic. (A finding of "rough proportionality" has been made in the resolution for this condition).
- 8. When the project fronts on an existing street, the applicant shall pave-out from the proposed curb to the edge of pavement if the existing pavement section is adequate, and shall feather the new paving out to the centerline for a smooth transition. If the existing pavement is inadequate, the roadway shall be replaced to centerline and the remaining pavement shall be overlaid. (A finding of "rough proportionality" has been made in the resolution for this condition).

(Adopted by Planning Commission Resolution 94-038)

- 9. Any utility trenching in existing streets shall be overlaid to restore a smooth riding surface as required by the City Engineer. Boring and jacking rather than trenching may be required on newly constructed or heavily traveled City streets.
- 10. The applicant shall install all utilities (sewer, water, gas, electricity, cable TV and telephone) underground (as shown on the composite utility plan). Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground except for electrical lines 77 kilovolts or greater. All utilities shall be extended to the boundaries of the project. All underground construction shall be completed and approved by the public utility companies, and the subgrade shall be scarified and compacted, before paving the streets.
- 11. Prior to paving any street the water and sewer systems shall successfully pass a pressure test. The sewer system shall also be tested by a means of a mandrel and video inspection with a copy of the video tape provided to the City. No paving shall occur until the City has reviewed and viewed the sewer video tape and has determined that the sewerline is acceptable. Any repair costs to the pipeline including trench paving restoration shall be at the developer's expense.
- 12. A blackline clear Mylar (0.4 MIL) copy and a blueline print of as-built improvement plans, signed by the engineer of record, shall be provided to the City Engineer prior to the final inspection. A reduced copy (i.e. 1" = 100') of the composite utility plan shall be provided to update the City's Atlas Map.
- 13. All construction refuse shall be separated (i.e. concrete, asphalt concrete, wood gypsum board, etc.) and removed from the project in accordance with the City's Source Reduction and Recycling Element.

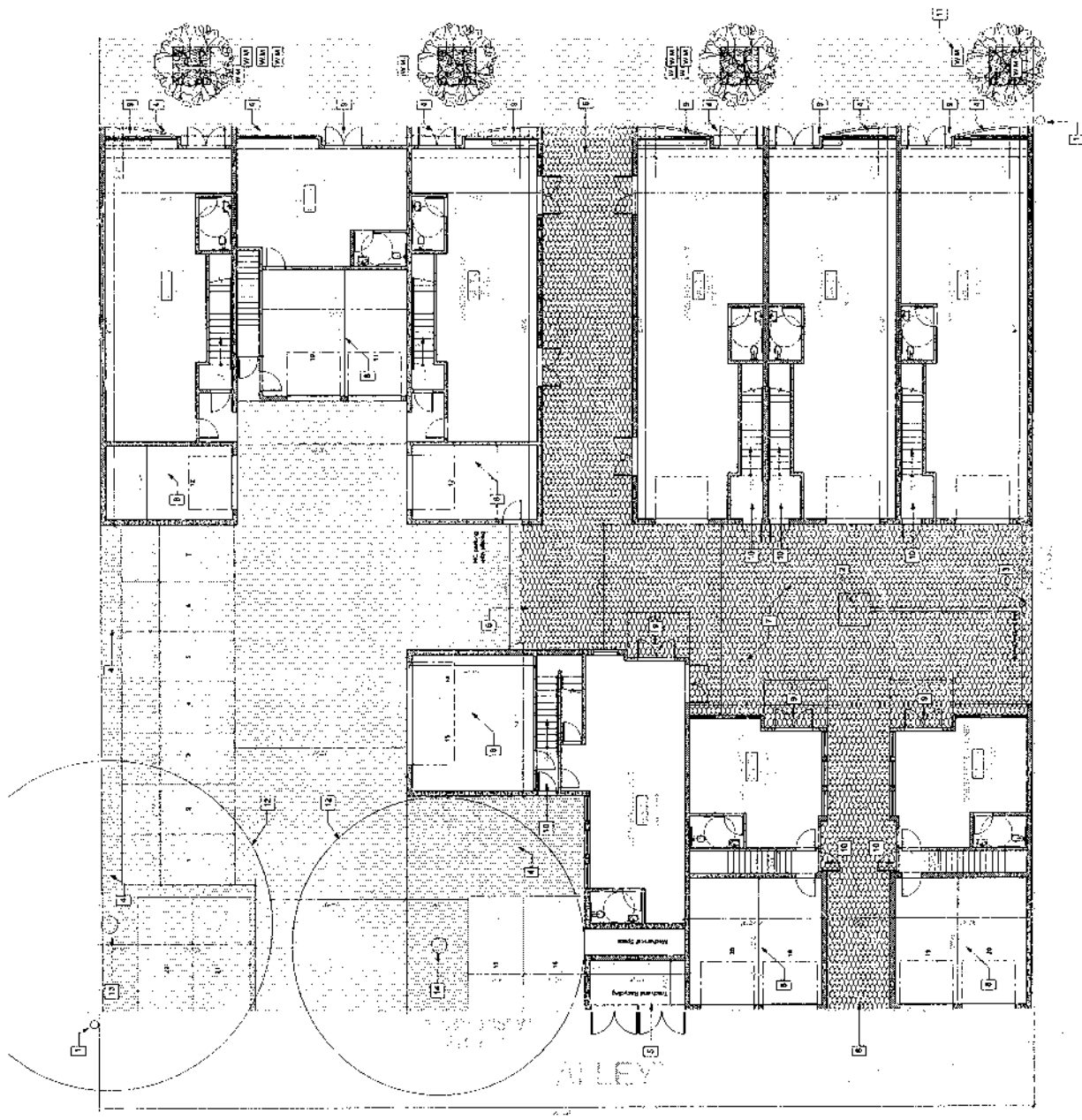
PASO ROBLES FIRE DEPARTMENT - The applicant shall contact the Fire Department, (805) 237-3973, for compliance with the following conditions:

I. GENERAL CONDITIONS

- 1. Fire hydrants shall be installed at intervals as required by the Fire Chief and City Engineer. The maximum spacing for single family residential shall be 500 feet. The maximum spacing for multi-family and commercial/ residential shall be 300 feet. On-site hydrants shall be placed as required by the Fire Chief.
- 2. Building permits shall not be issued until the water system, including hydrants, has been tested and accepted and a based access road installed sufficient to support the City's fire apparatus (HS-20 truck loading). The access road shall be kept clear to a minimum of 24 feet at all times and shall be extended to each lot and shall be maintained to provide all weather driving conditions.
- 3. No buildings shall be occupied until all improvements are completed and accepted by the City for maintenance.
- 4. If the development includes phased street construction, temporary turn-arounds shall be provided for streets that exceed 150 feet in length. The temporary turn around shall meet City requirements as set forth in the Public Works Department Standards and Specifications.
- 5. All open space areas to be dedicated to the City shall be inspected by the Fire Department prior to acceptance. A report shall be submitted recommending action needed for debris, brush and weed removal and tree trimming. The developer shall clean out all debris, dead limbs and trash from areas to be recorded as open space prior to acceptance into a Benefit Maintenance District.
- 6. Any open space included in a private development shall be subject to the approval of a vegetation management plan approved by the Fire Chief.
- 7. Each tract or phase shall provide two sources of water and two points of access unless otherwise determined by the Fire Chief and Public Works Director.
- 8. Provisions shall be made to update the Fire Department Run Book.

(Adopted by Planning Commission Resolution 94-038)

Exhibit B
Site Plan



- AN REFERENCE NOTES**
- 1. SEE LANDSCAPE SHEETS FOR LANDSCAPE DETAILS
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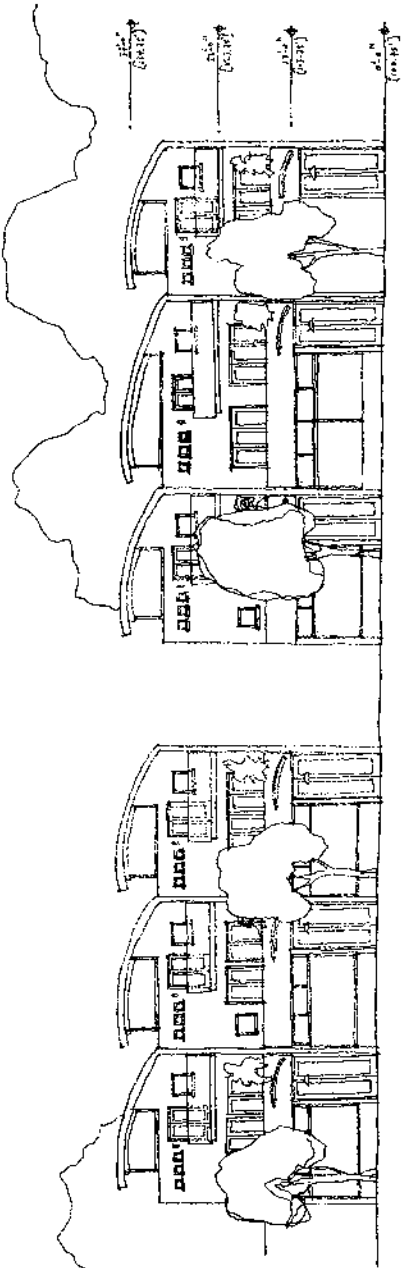
SCHEMATIC SITE PLAN
 1/14/10

Exhibit C
Elevations

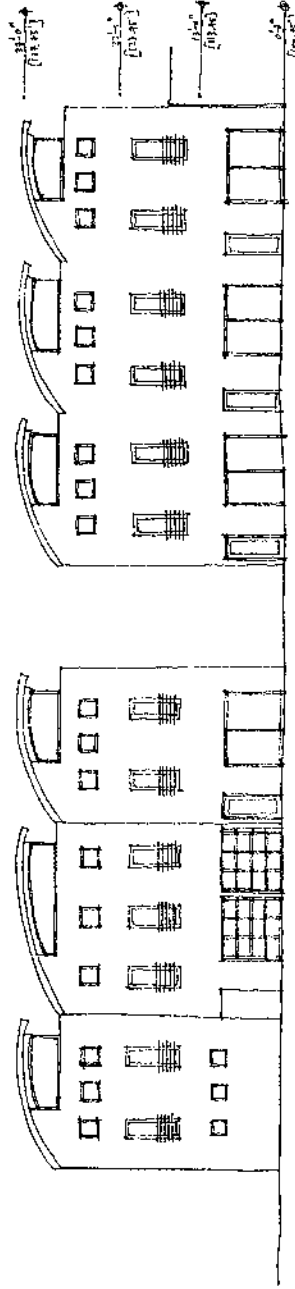
MEMBERSHIP LIST

ARCHITECT: M:OME
 10000 Wilshire Blvd, Suite 1000
 Beverly Hills, CA 90210
 Tel: 310.277.1000
 Fax: 310.277.1001
 www.mome.com

M:OME
 ARCHITECTS
 731 PINE STREET
 50 DE ROBLES, CALIFORNIA



EAST ELEVATION - PINE ST.
1/8" = 1'-0"



WEST ELEVATION - PIAZZA
1/8" = 1'-0"

PROJECT'S WORK

FOR THE ARCHITECT'S USE ONLY
NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

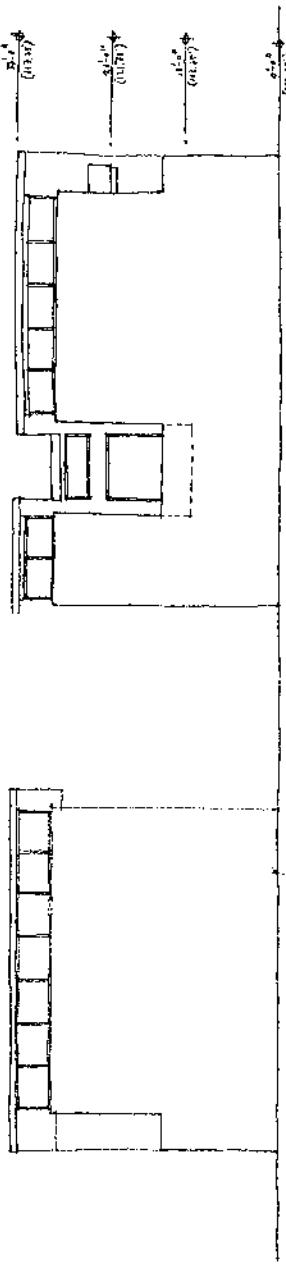
DATE: 08/14/18
M:OME
3000 WILSON AVENUE
SAN ANTONIO, TEXAS 78201
TEL: 214-343-1111
WWW.M:OME.COM

PINE STREET LOFTS
721 - 731 PINE STREET
El Paso de Robles, California

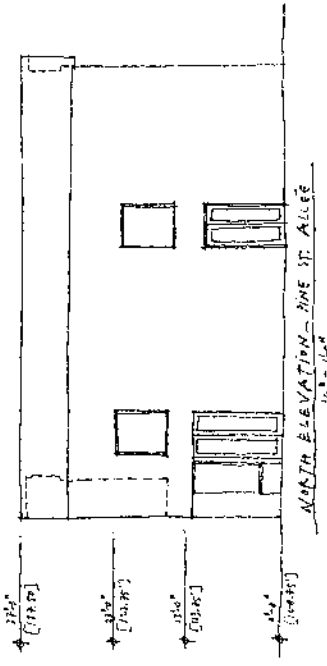
PROJECT NUMBER:
180001
DATE: 08/14/18
DRAWN BY: J. B. BROWN

Elevations

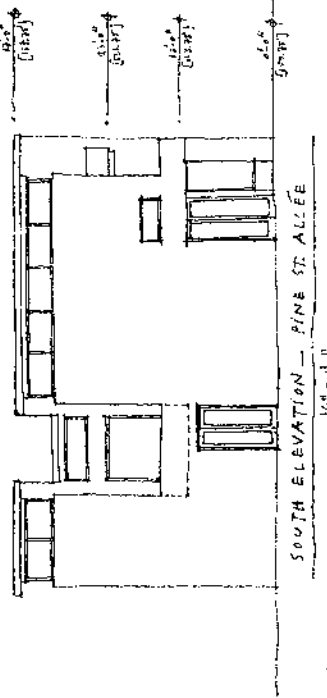
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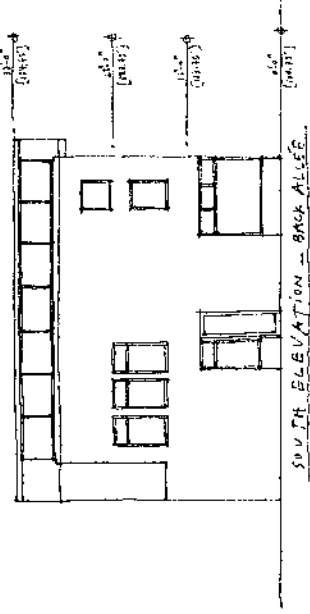
SOUTH ELEVATION
1/8" = 1'-0"



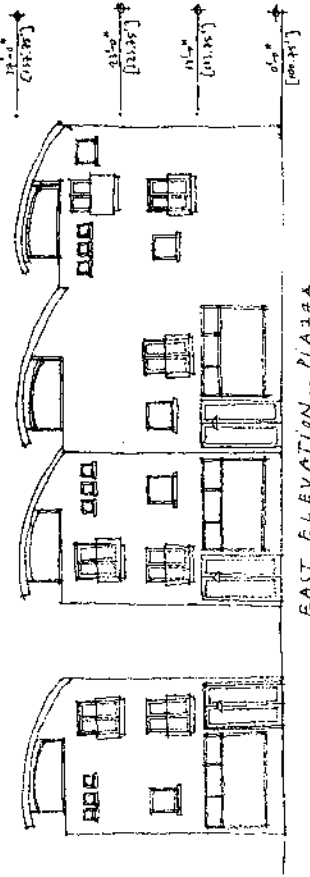
NORTH ELEVATION - PINE ST. ALLEE
1/8" = 1'-0"



SOUTH ELEVATION - PINE ST. ALLEE
1/8" = 1'-0"



SOUTH ELEVATION - BACK ALLEE
1/8" = 1'-0"



EAST ELEVATION - PLAZA
1/8" = 1'-0"

PROPERTY PAGE

ALL INFORMATION CONTAINED
 HEREIN IS UNCLASSIFIED
 DATE 08-14-2013 BY 60324/UC/LP/STP

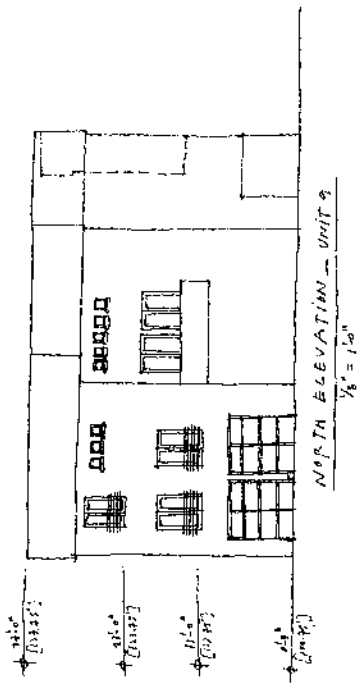
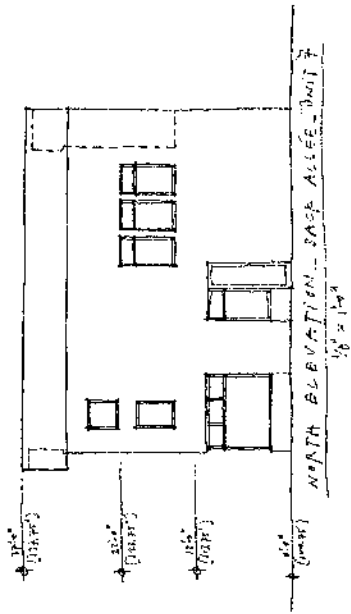
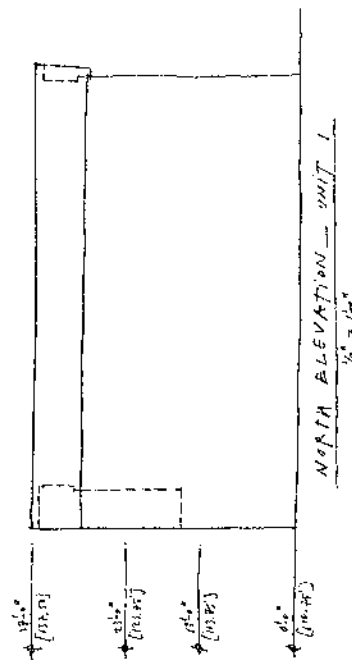
M:OME
 MORTGAGE
 LENDING
 CORPORATION
 1000 WEST 10TH AVENUE
 SUITE 1000
 DENVER, COLORADO 80202

PINE STREET LOFTS
 721 - 731 PINE STREET
 EL PASO DE ROBLES, CALIFORNIA

04/23/2013/13:00
 1000 West 10th Avenue
 Suite 1000
 Denver, Colorado 80202

Elevations

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PROOF OF PUBLICATION

LEGAL NEWSPAPER NOTICES

PLANNING COMMISSION/CITY COUNCIL
PROJECT NOTICING

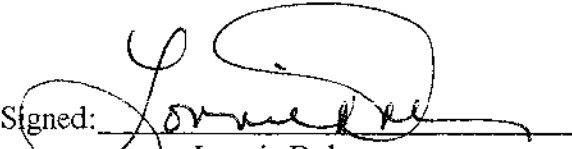
Newspaper: Tribune

Date of Publication: January 31, 2007

Meeting Date: February 13, 2007
(Planning Commission)

Project: Planned Development 06-020
and Tentative Tract Map 2904
(Ostrander)

I, Lonnie Dolan, employee of the Community Development Department, Planning Division, of the City of El Paso de Robles, do hereby certify that this notice is a true copy of a published legal newspaper notice for the above named project.

Signed: 
Lonnie Dolan

forms/newsaffi.691

CITY OF EL PASO DE ROBLES
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of El Paso de Robles will hold a Public Hearing on Tuesday, February 13, 2007, at 7:30 p.m. at the City of El Paso de Robles, 1000 Spring Street, Paso Robles, California, in the City Council Chambers, to consider the following project:

Planned Development 06-020 and Tentative Tract Map 2904 to create 9 live/work units. This request is filed by Bill Ostrander for property located at 721 - 731 Pine Street. (APNs 009-203-011, -012, -019). The project is in the Commercial/Light Industrial Planned Development (C-3-PD) zoning district.

This project is exempt from the review requirements of the California Environmental Quality Act (CEQA), per Categorical Exemption Class 32. The proposed project may be reviewed at the Community Development Department, 1000 Spring Street, Paso Robles, California. Copies may be purchased for the cost of reproduction.

Written comments on the proposed project may be mailed to the Community Development Department, 1000 Spring Street, Paso Robles, CA 93446, provided that the comments are received prior to the time of the public hearing. Oral comments may be made at the hearing. Should you have any questions regarding this application, please call Susan DeCarli at (805) 237-3970.

If you challenge this application in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at or prior to the public hearing.

Susan DeCarli, AICP
City Planner
January 31, 2007

6530298

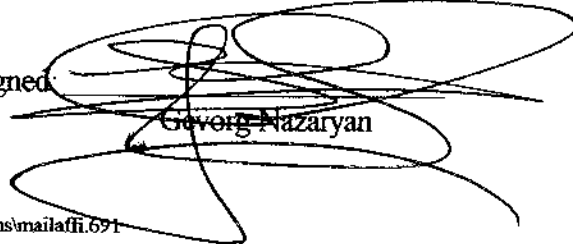
**AFFIDAVIT
OF MAIL NOTICES**

PLANNING COMMISSION/CITY COUNCIL PROJECT NOTICING

I, Gevorg Nazaryan, employee of the City of El Paso de Robles, California, do hereby certify that the mail notices have been processed as required for Planned Development 06-020 A request for Planned Development and Tentative Tract Map 2904, filed by William Ostrander, to construct a 3 story live/work project with 9 units. (Applicant: William Ostrander) APN: 009-203-012, and 019) on this 30th day of January, 2007.

City of El Paso de Robles
Community Development Department
Planning Division

Signed:


Gevorg Nazaryan

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